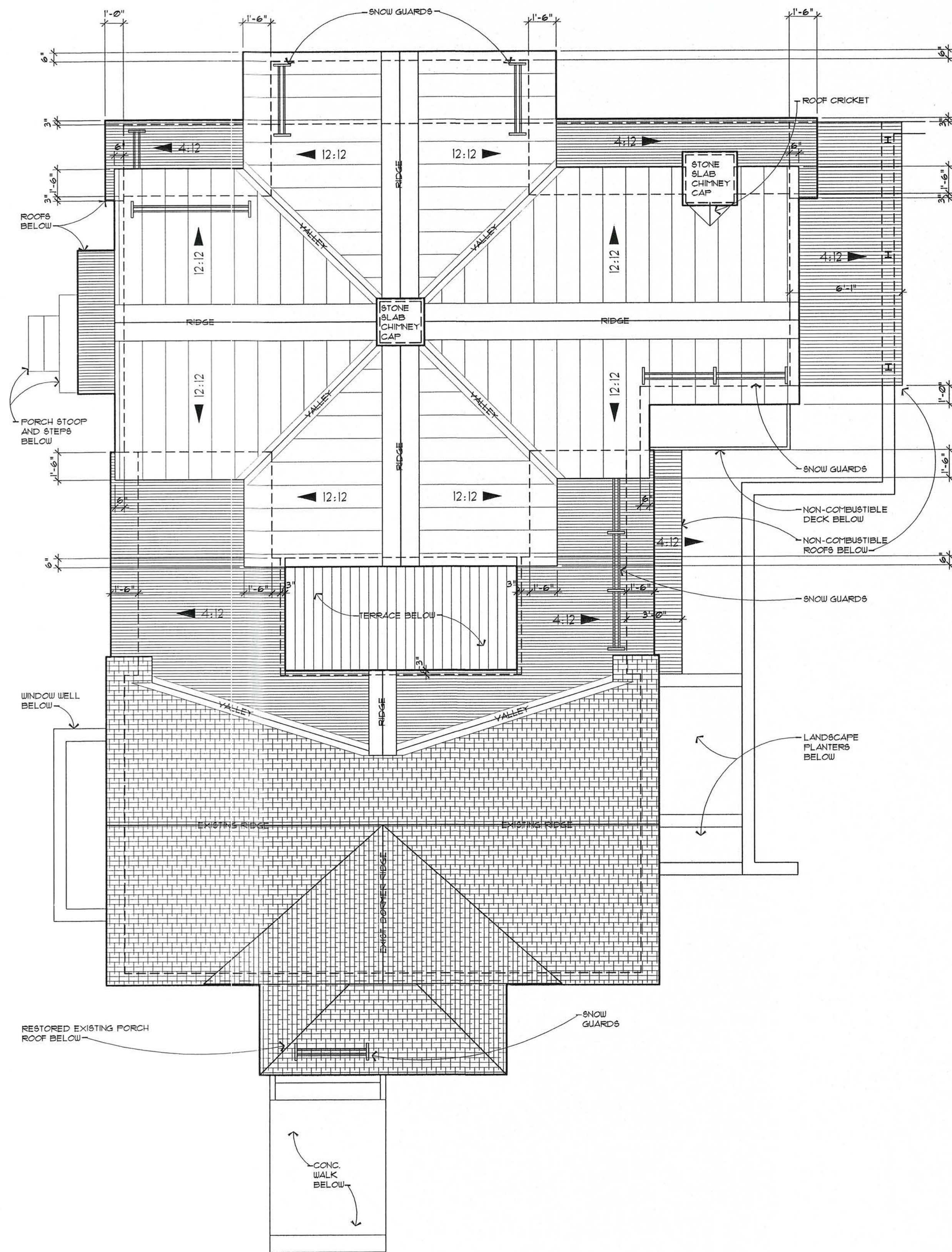


UPPER LEVEL - PROPOSED
SCALE: 1/4" = 1'-0"

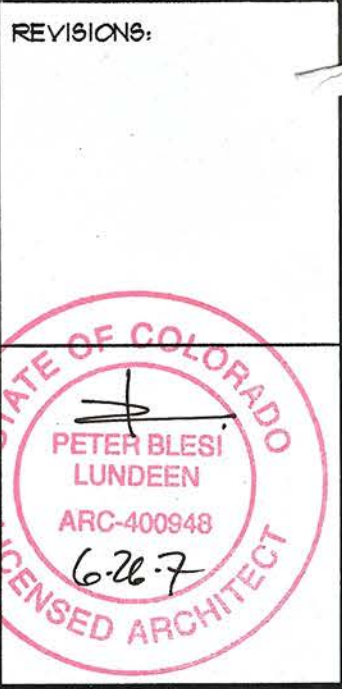


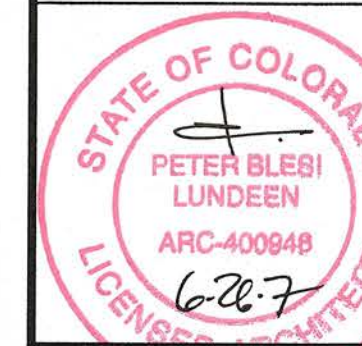
ROOF PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

EXTERIOR DESIGN BY ONE ARCHITECTS, INC.

BUILDING ELEVATION
BUILDING EL. 100'-0" • SITE EL. 8,149'-8 1/2"

- NOTES:**
1. ALL WALLS AND FLOORS TO HAVE SOUND BATT.
 2. BUILDING TO HAVE FIRE SPRINKLER SYSTEM THROUGHOUT. VERIFY HEAD LOCATION/LAYOUT W/ ARCHITECT.





NOTE:
EXISTING HISTORIC BUILDING TO BE STABILIZED AND PROTECTED IN ORDER TO BE PICKED UP AND MOVED. PROVIDE NEW CONCRETE FOUNDATION BASEMENT IN LOCATION SPECIFIED IN DIGGS. VERIFY EXACT LOCATION W/ ARCHITECT AND OWNER ON SITE - SEE SECTIONS AND STRUCT. PLANS FOR FOUNDATION INFORMATION AND DETAILS. PLACE EXISTING BUILDING BACK ON TOP OF NEW FOUNDATION. SEE STRUCT. FOR ADDITIONAL FLOOR FRAMING.

NOTE:
EXISTING HISTORIC PORCH AND ROOF TO BE STABILIZED AND PROTECTED IN ORDER TO BE PICKED UP AND MOVED. VERIFY MOVING TOGETHER WITH BUILDING OR SEPARATELY. PROVIDE NEW CONCRETE PIERS FOR PORCH FRAMING SUPPORT. SEE STRUCTURAL DIGGS. VERIFY EXACT LOCATION W/ ARCHITECT AND OWNER ON SITE. PLACE EXISTING PORCH BACK ON TOP OF NEW FOUNDATION - G.C. TO VERIFY/RECORD PORCH ROOF AND POST DETAILING PRIOR TO MOVING PORCH IN CASE NEED ARISES TO RE-CREATE NEW PORCH ELEMENTS TO MATCH HISTORIC DETAILS.

REMOVE NON-HISTORIC DECK, RAIL, AND ROOF SHOWN DASHED

TO SUBFLOOR #
EXISTING MAIN LEVEL
EL. 8,146'-4" VERIFY

REMOVE STEPS AND RAILS TO FRONT PORCH - G.C. TO VERIFY/RECORD STAIR DETAILS PRIOR TO REMOVAL TO RE-CREATE NEW STAIRS TO MATCH

REMOVE ALL NON-HISTORIC BUILDING ADDITIONS SHOWN DASHED

NOTE:
EXISTING HISTORIC BUILDING TO BE STABILIZED AND PROTECTED IN ORDER TO BE PICKED UP AND MOVED. PROVIDE NEW CONCRETE FOUNDATION BASEMENT IN LOCATION SPECIFIED IN DIGGS. VERIFY EXACT LOCATION W/ ARCHITECT AND OWNER ON SITE - SEE SECTIONS AND STRUCT. PLANS FOR FOUNDATION INFORMATION AND DETAILS. PLACE EXISTING BUILDING BACK ON TOP OF NEW FOUNDATION. SEE STRUCT. FOR ADDITIONAL FLOOR FRAMING.

NOTE:
EXISTING HISTORIC PORCH AND ROOF TO BE STABILIZED AND PROTECTED IN ORDER TO BE PICKED UP AND MOVED. VERIFY MOVING TOGETHER WITH BUILDING OR SEPARATELY. PROVIDE NEW CONCRETE PIERS FOR PORCH FRAMING SUPPORT. SEE STRUCTURAL DIGGS. VERIFY EXACT LOCATION W/ ARCHITECT AND OWNER ON SITE. PLACE EXISTING PORCH BACK ON TOP OF NEW FOUNDATION - G.C. TO VERIFY/RECORD PORCH ROOF AND POST DETAILING PRIOR TO MOVING PORCH IN CASE NEED ARISES TO RE-CREATE NEW PORCH ELEMENTS TO MATCH HISTORIC DETAILS.

REMOVE NON-HISTORIC DECK BEYOND SHOWN DASHED

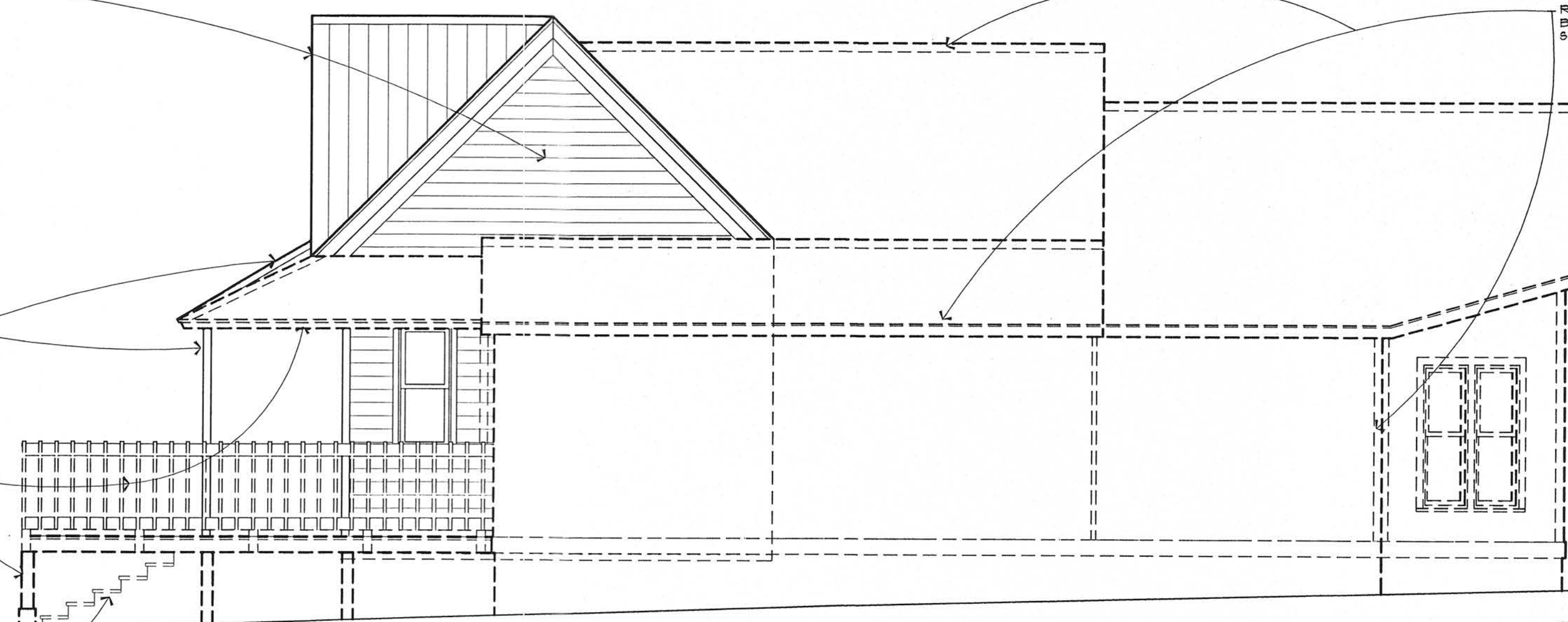
REMOVE STEPS AND RAILS TO FRONT PORCH - G.C. TO VERIFY/RECORD STAIR DETAILS PRIOR TO REMOVAL TO RE-CREATE NEW STAIRS TO MATCH

REMOVE EXISTING FOUNDATION AFTER HISTORIC BUILDING IS STABILIZED AND MOVED - G.C. TO VERIFY/RECORD EXISTING FARGING DETAIL PRIOR TO REMOVAL TO RECREATE FARGING ON NEW FOUNDATION

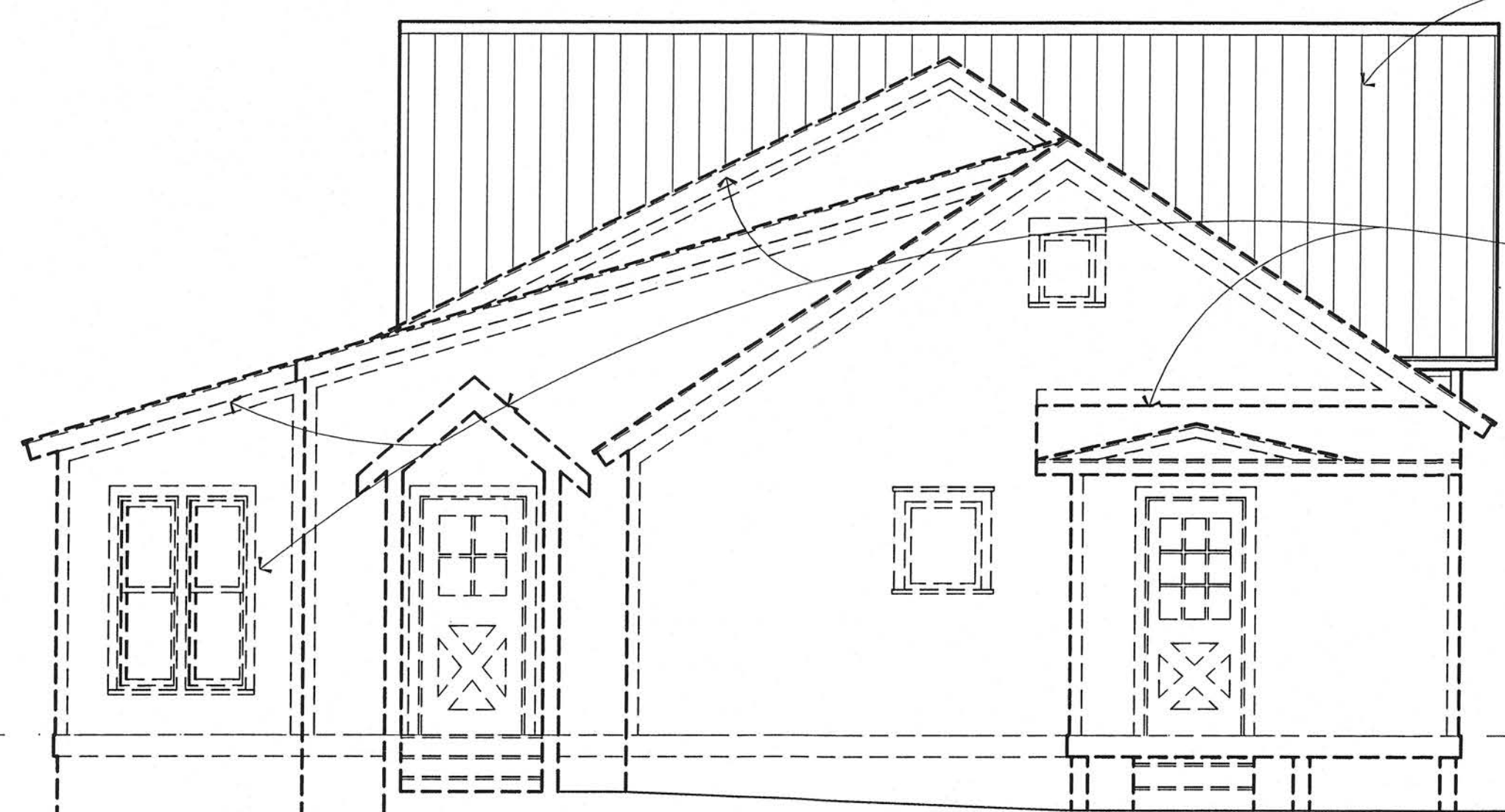


A SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

REMOVE EXISTING FOUNDATION AFTER HISTORIC BUILDING IS STABILIZED AND MOVED - G.C. TO VERIFY/RECORD EXISTING FARGING DETAIL PRIOR TO REMOVAL TO RECREATE FARGING ON NEW FOUNDATION



B EAST ELEVATION
SCALE: 1/4" = 1'-0"

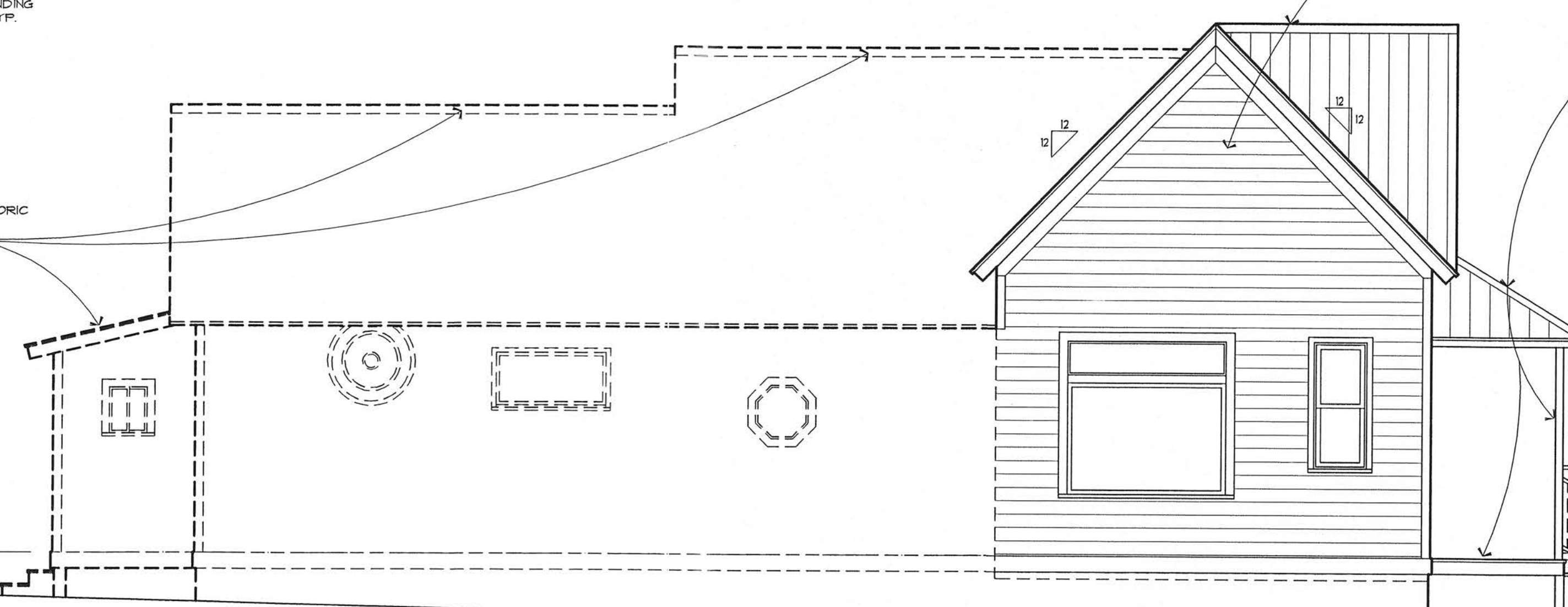


C NORTH ELEVATION
SCALE: 1/4" = 1'-0"

TO SUBFLOOR #
EXISTING MAIN LEVEL
EL. 8,146'-4" VERIFY

REMOVE EXISTING STANDING SEAM METAL ROOF - TYP.

REMOVE ALL NON-HISTORIC BUILDING ADDITIONS SHOWN DASHED



D WEST ELEVATION
SCALE: 1/4" = 1'-0"

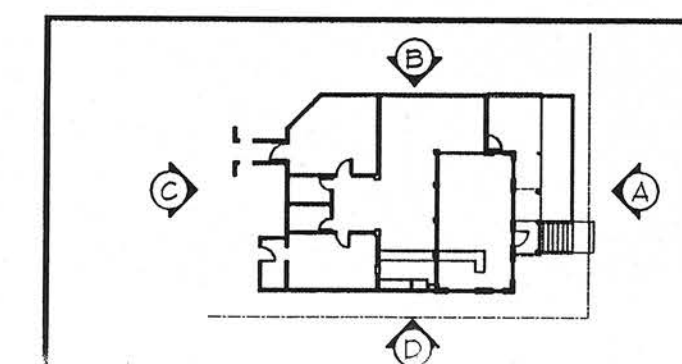
REHABILITATION NOTES:

RE#4A: "DETERIORATED ARCHITECTURAL FEATURES SHOULD BE REPAIRED RATHER THAN REPLACED, WHEREVER POSSIBLE. MINIMIZE INTERVENTION WITH HISTORIC ELEMENTS. MAINTAIN CHARACTER-DEFINING FEATURES. THEN, REPAIR ONLY THOSE FEATURES THAT ARE DETERIORATED. FINALLY, REPLACE ONLY THOSE FEATURES THAT ARE BEYOND REPAIR."

RE#3A: "PRESERVE THE FUNCTIONAL AND DECORATIVE FEATURES OF ORIGINAL WINDOWS.
1. SUCH FEATURES INCLUDE FRAMES, SASH, MUNTINS, MULLIONS, GLAZING, SILLS, HEADS, JAMBS AND MOLDINGS AND STORM WINDOWS.
2. REPAIR FRAMES AND SASH BY PATCHING, SPLICING OR REINFORCING.
3. IF REPLACEMENT IS NECESSARY, REPLACE IN KIND, TO MATCH THE ORIGINAL.
4. AVOID THE REMOVAL OF HISTORIC WINDOWS AND SASH."

RE#2A: "PRESERVE THE FUNCTIONAL AND DECORATIVE FEATURES OF ORIGINAL DOORS.
1. SUCH FEATURES INCLUDE DOOR FRAMES, SILLS, HEADS, JAMBS AND MOLDINGS."

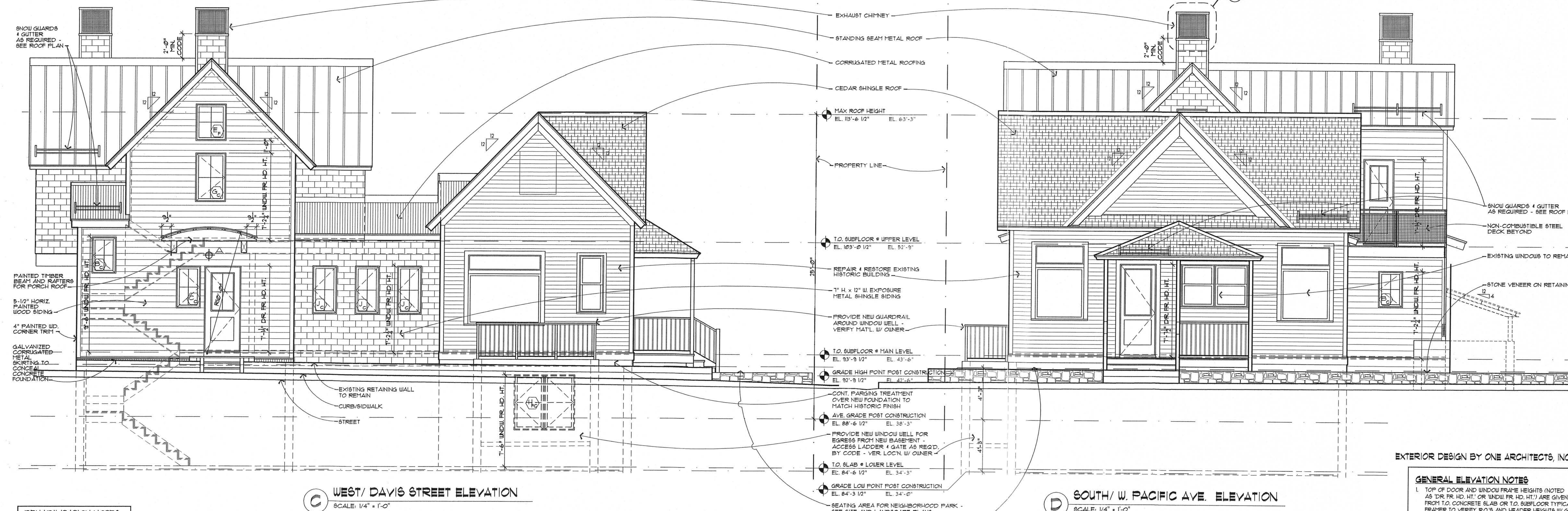
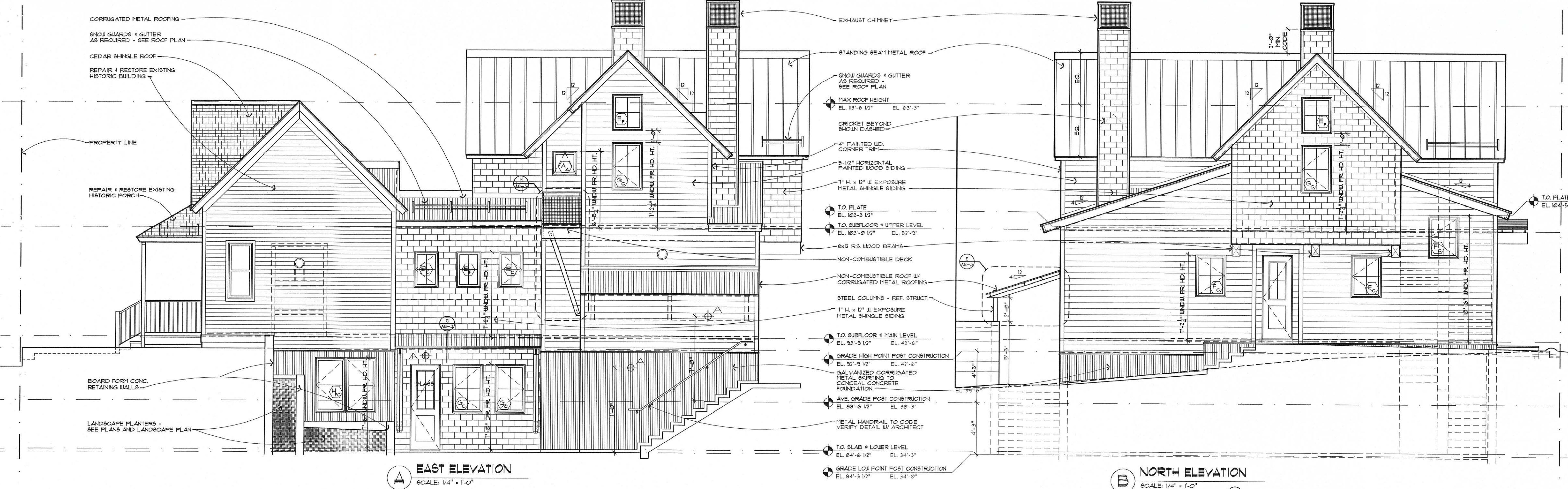
RE#4B: "PRESERVE ORIGINAL SIDING WHEN FEASIBLE.
1. AVOID REMOVING SIDING THAT IS IN GOOD CONDITION OR THAT CAN BE REPAIRED IN PLACE.
2. REMOVE ONLY SIDING WHICH IS DETERIORATED AND MUST BE REPLACED.
3. IF PORTIONS OF WOOD SIDING MUST BE REPLACED, BE SURE TO MATCH THE STYLE AND LAP DIMENSIONS OF THE ORIGINAL.
4. IF THE BUILDING WAS PAINTED HISTORICALLY, IT SHALL REMAIN PAINTED, INCLUDING ALL TRIM."



WEST PACIFIC CAMPUS
PROJECT #0605
513 W. Pacific Ave.
Town of Telluride
Colorado, 81435

CONSTRUCTION / PERMIT REVIEW SET
JUNE 6, 2007

EXISTING EXTER. ELEVATIONS



REHABILITATION NOTES:

RE*4A1: "DETERIORATED ARCHITECTURAL FEATURES SHOULD BE REPAIRED RATHER THAN REPLACED, WHEREVER POSSIBLE. MINIMIZE INTERVENTION WITH HISTORIC ELEMENTS. MAINTAIN CHARACTER-DEFINING FEATURES. THEN, REPAIR ONLY THOSE FEATURES THAT ARE DETERIORATED. FINALLY, REPLACE ONLY THOSE FEATURES THAT ARE BEYOND REPAIR"

RE*3A: "PRESERVE THE FUNCTIONAL AND DECORATIVE FEATURES OF ORIGINAL WINDOWS.
1. SUCH FEATURES INCLUDE FRAMES, SASH, MUNTINS, MULLIONS, GLAZING, SILLS, HEADS, JAMBS AND MOLDINGS AND STORM WINDOWS.
2. REPAIR FRAMES AND SASH BY PATCHING, SPlicing OR REINFORCING.
3. IF REPLACEMENT IS NECESSARY, REPLACE IN KIND, TO MATCH THE ORIGINAL.
4. AVOID THE REMOVAL OF HISTORIC WINDOWS AND SASH."

RE*10A: "PRESERVE THE FUNCTIONAL AND DECORATIVE FEATURES OF ORIGINAL DOORS.
1. SUCH FEATURES INCLUDE DOOR FRAMES, SILLS, HEADS, JAMBS AND MOLDINGS."

RE*14B: "PRESERVE ORIGINAL SIDING WHEN FEASIBLE.
1. AVOID REMOVING SIDING THAT IS IN GOOD CONDITION OR THAT CAN BE REPAIRED IN PLACE.
2. REMOVE ONLY SIDING WHICH IS DETERIORATED AND MUST BE REPLACED.
3. IF PORTIONS OF WOOD SIDING MUST BE REPLACED, BE SURE TO MATCH THE STYLE AND LAP DIMENSIONS OF THE ORIGINAL.
4. IF THE BUILDING WAS PAINTED HISTORICALLY, IT SHALL REMAIN PAINTED, INCLUDING ALL TRIM."

EXTERIOR DESIGN BY ONE ARCHITECTS, INC.

GENERAL ELEVATION NOTES

1. TOP OF DOOR AND WINDOW FRAME HEIGHTS (NOTED AS "DR FR HD HT" OR "WIND FR HD HT") ARE GIVEN FROM T.O. CONCRETE SLAB OR T.O. SUBFLOOR TYPICAL. FRAMER TO VERIFY R.O.S. AND HEADER HEIGHTS W/ G.C. WINDOW MANUFACTURER AND ARCHITECT.
2. REVIEW DOOR FRAME HEAD HEIGHTS WITH DOOR SILL DETAILS. WINDOWS ADJACENT TO EXTERIOR DOORS TO HAVE WINDOW FRAME HEAD HEIGHT MATCH ADJACENT DOOR FRAME HEAD HEIGHT.
3. CONTRACTOR TO VERIFY SIDING LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.

TAG LEGEND

- 1A INACTIVE DOOR PANEL
A ACTIVE DOOR PANEL

NOTES FOR HISTORIC STRUCTURE WHERE APPLICABLE:

G633B: "WINDOWS SHOULD BE FINISHED WITH TRIM ELEMENTS SIMILAR TO THOSE USED TRADITIONALLY."
1. THIS TRIM SHOULD HAVE A DIMENSION SIMILAR TO THAT USED HISTORICALLY.
2. DIVIDED LIGHTS SHOULD BE FORMED FROM SMALLER MULLIONS INTEGRAL TO THE WINDOW.
3. POP-UP MULLIONS ARE INAPPROPRIATE.

G633AB: "DOORS SHOULD BE DESIGNED AND FINISHED WITH TRIM ELEMENTS SIMILAR TO THOSE USED TRADITIONALLY."

ASSEMBLIES LEGEND

ROOFS

- R-11 STANDING SEAM METAL ROOF CONSTRUCTION:
STANDING SEAM METAL ROOFING OVER
ICE AND WATER SHIELD OVER
5/8" ROOF SHEATHING (REF. STRUCT.) ON
RAFTERS (REF. STRUCT.) W/
1" AIR SPACE (MIN) AND
R-38 (MIN) SPRAY FOAM INSUL. AND
6 MIL VAPOR BARRIER BEHIND
5/8" GUS OR 1" I.D. CEILING (REF. FINISH SCHEDULE)
- R-12 CORRUGATED METAL ROOF CONSTRUCTION:
CORRUGATED METAL ROOFING OVER
ICE AND WATER SHIELD OVER
5/8" ROOF SHEATHING (REF. STRUCT.) ON
RAFTERS (REF. STRUCT.) W/
1" AIR SPACE (MIN) AND
R-38 (MIN) SPRAY FOAM INSUL. AND
6 MIL VAPOR BARRIER BEHIND
5/8" GUS OR 1" I.D. CEILING (REF. FINISH SCHEDULE)
- R-13 WOOD SHINGLE ROOF CONSTRUCTION:
CEDAR WOOD SHINGLE ROOFING OVER
ICE AND WATER SHIELD OVER
5/8" ROOF SHEATHING (REF. STRUCT.) ON
RAFTERS (REF. STRUCT.) W/
1" AIR SPACE (MIN) AND
R-38 (MIN) SPRAY FOAM INSUL. AND
6 MIL VAPOR BARRIER BEHIND
5/8" GUS OR 1" I.D. CEILING (REF. FINISH SCHEDULE)

WALLS

- W-11 WOOD SIDING WALL CONSTRUCTION:
VERTICAL OR HORIZONTAL WOOD SIDING OVER
1" FURRING STRIPS (AS REQ'D.) OVER
AIR INFILTRATION BARRIER OVER
1/2" WALL SHEATHING ON
WOOD STUD FRAMING W/
R-21 (MIN) INSULATION AND
6 MIL VAPOR BARRIER BEHIND
5/8" GUS
- W-12 METAL SHINGLE SIDING WALL CONSTRUCTION:
METAL SHINGLE SIDING OVER
1" FURRING STRIPS (AS REQ'D.) OVER
AIR INFILTRATION BARRIER OVER
1/2" WALL SHEATHING ON
WOOD STUD FRAMING W/
R-21 (MIN) INSULATION AND
6 MIL VAPOR BARRIER BEHIND
5/8" GUS

FLOORS

- F-11 CARPET FLOOR CONSTRUCTION:
CARPET AND PAD OVER
1-1/2" GYPCRETE W/ HYDRONIC HEAT TUBES OVER
3/4" SUBFLOOR ON
FLOOR JOISTS (REF. STRUCT.) W/
ACOUSTICAL BATT INSULATION AND
5/8" GUS
- F-12 WOOD FLOOR CONSTRUCTION:
3/4" WOOD FLOORING OVER
1-1/2" GYPCRETE W/ HYDRONIC HEAT TUBES AND
SLEEPERS ON 3/4" SUBFLOOR ON
FLOOR JOISTS (REF. STRUCT.) W/
ACOUSTICAL BATT INSULATION AND
5/8" GUS
- F-13 TILE FLOOR CONSTRUCTION:
TILE FLOOR AND SETTING BED OVER
1-1/2" GYPCRETE W/ HYDRONIC HEAT TUBES OVER
3/4" SUBFLOOR ON
FLOOR JOISTS (REF. STRUCT.) W/
ACOUSTICAL BATT INSULATION AND
5/8" GUS
- F-14 EXPOSED CONCRETE FLOOR CONSTRUCTION:
STAINED AND SEALED CONCRETE FLOOR SLAB
(REF. STRUCT.) W/
HYDRONIC HEAT TUBES OVER
SPRAY FOAM OR RIGID INSULATION OVER
GRAVEL BED

FOUNDATION

- FD-1 METAL SKIRTING ON FOUNDATION WALL CONSTRUCTION:
GALVANIZED CORRUGATED METAL W/ FURRING OVER
WATERPROOFING OVER
CONC. FOUNDATION WALL (REF. STRUCT.) WITH
2x LD FRAMING 1-1/2" SPRAY FOAM INSULATION AND
6 MIL VAPOR BARRIER BEHIND
5/8" GUS (REF. FINISH SCHEDULE)
- FD-2 UNDERGROUND FOUNDATION WALL CONSTRUCTION:
INSULATED PROTECTION BOARD OVER
WATERPROOFING OVER
CONC. FOUNDATION WALL (REF. STRUCT.) WITH
2x LD FRAMING 1-1/2" SPRAY FOAM INSULATION AND
6 MIL VAPOR BARRIER BEHIND
5/8" GUS (REF. FINISH SCHEDULE)
- FD-3 BACKFILL W/ FREE DRAINING GRANULAR MATERIAL
OTHER THAN SAND UP TO 2/3 THE HEIGHT OF THE WALL
NOTE: SEE BUCKHORN GEOTECH DRAWINGS ON WATER
RUN-OFF RETENTION FOR FURTHER INFORMATION
- FD-4 4" DIAMETER PERFORATED PVC FOUNDATION DRAIN IN
12" (MIN) DIAMETER GRAVEL BED W/ FILTER FABRIC -
GRAVEL TO EXTEND 10" ABOVE FOOTING -
DRAIN TO DAYLIGHT OR SUMP AS REQ'D.

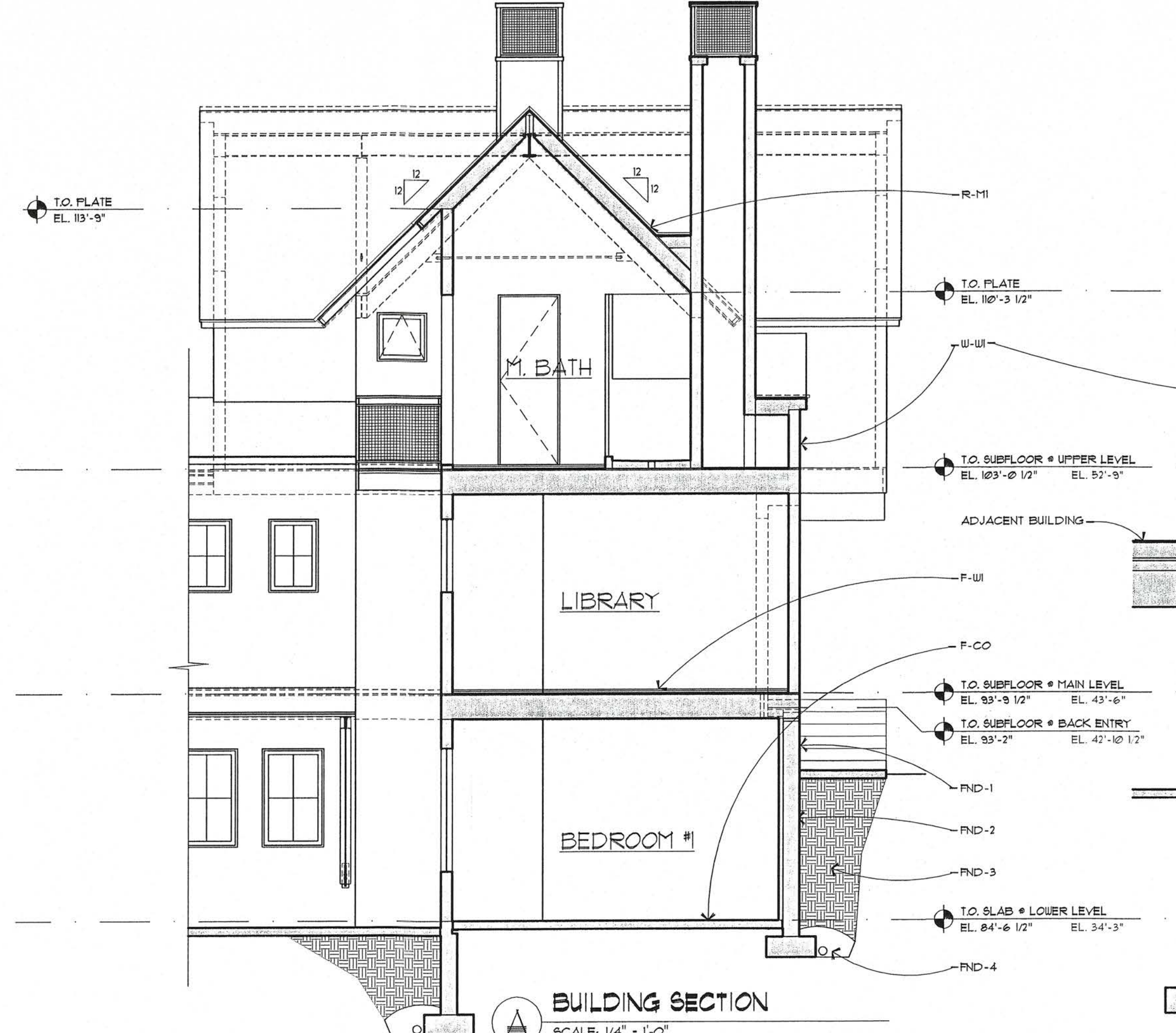
smart living designs

Post Office Box 3201 164th Society Drive Society Turn Business Center Telluride, Colorado 81435 970.728.0841 pvt@x

WEST PACIFIC
CAMPUS
PROJECT #0605
513 W. Pacific Ave.
Town of Telluride
Colorado, 81435
CONSTRUCTION /
PERMIT REVIEW SET
JUNE 6, 2007

PROPOSED BLDG.
SECTIONS

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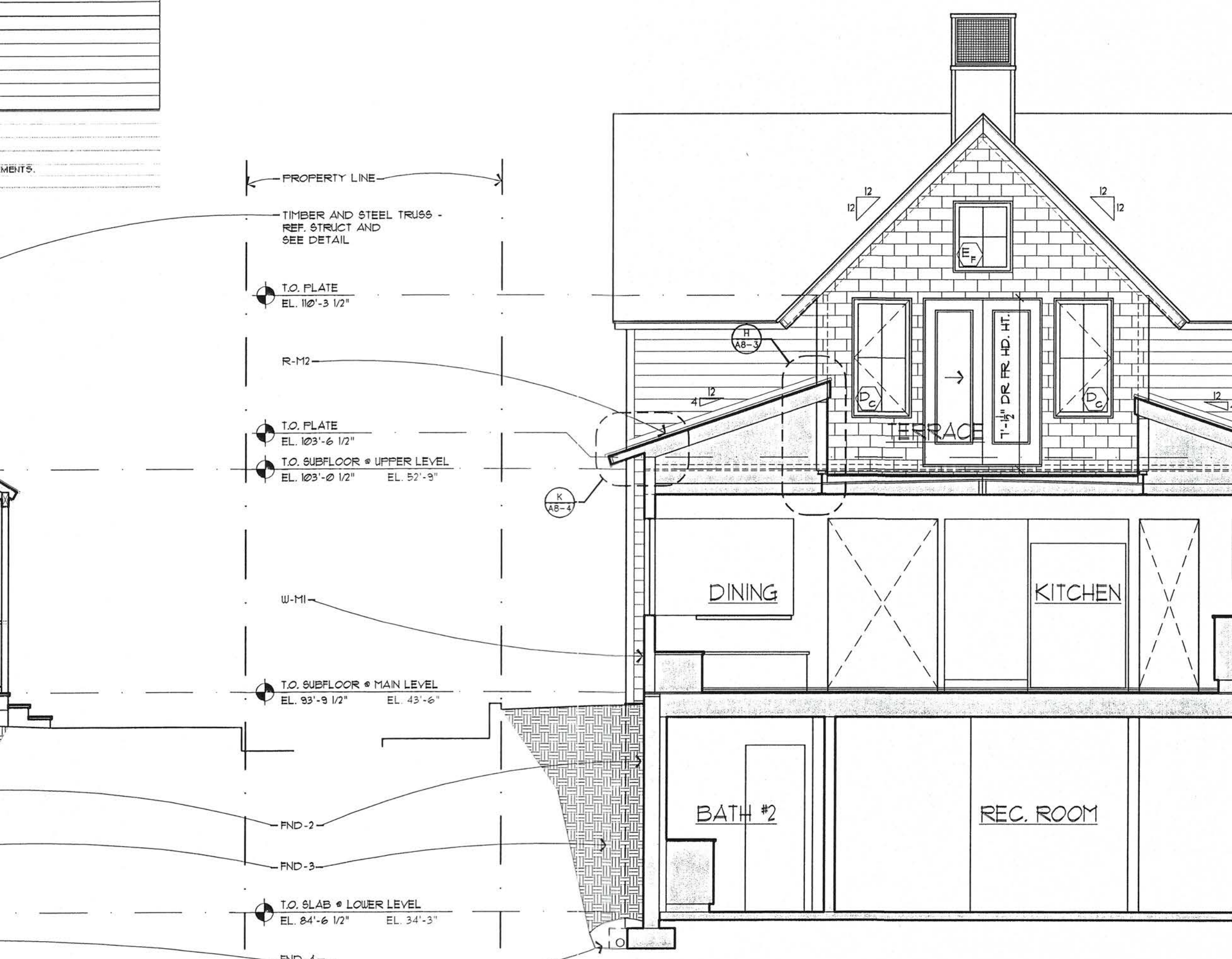
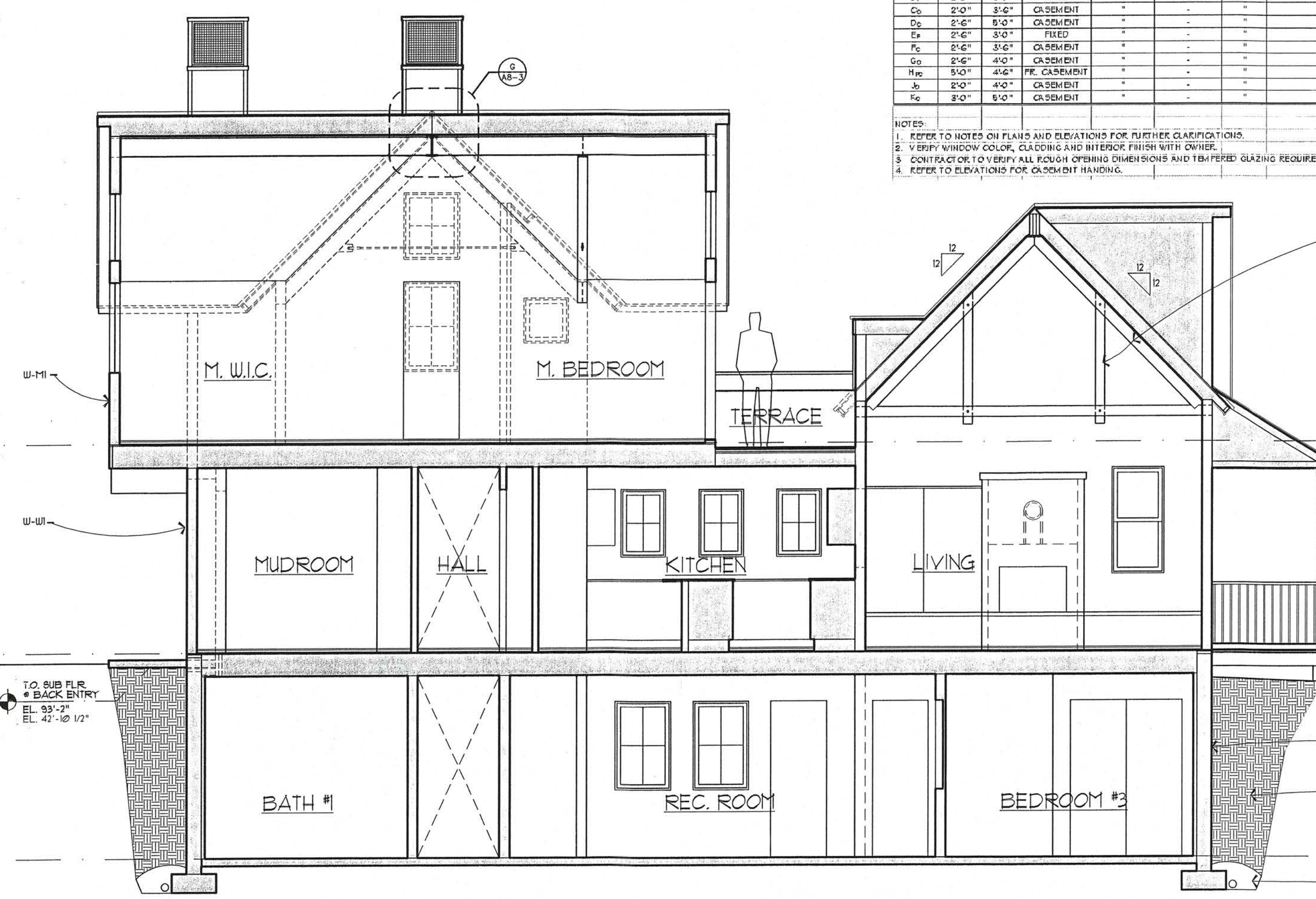


WFG - 573 W. PACIFIC
WINDOW SCHEDULE

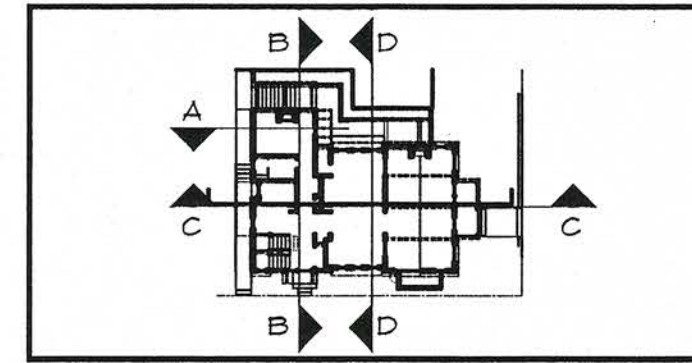
WINDOW MARK	WIDTH	HEIGHT	TYPE	MANUFACT.	CATALOG #	GLAZING	REMARKS
Ax	2'-0"	2'-0"	AWNING	TBD	-	LOW-E	
Bx	2'-0"	3'-0"	CASEMENT	-	-	-	
Cx	2'-0"	3'-0"	FIXED	-	-	-	
Dx	2'-0"	3'-0"	CASEMENT	-	-	-	
Ex	2'-0"	3'-0"	FIXED	-	-	-	
Fx	2'-0"	3'-0"	CASEMENT	-	-	-	
Gx	2'-0"	3'-0"	CASEMENT	-	-	-	
Hx	2'-0"	3'-0"	FIXED	-	-	-	
Ix	2'-0"	3'-0"	CASEMENT	-	-	-	
Jx	2'-0"	3'-0"	CASEMENT	-	-	-	
Kx	2'-0"	3'-0"	CASEMENT	-	-	-	

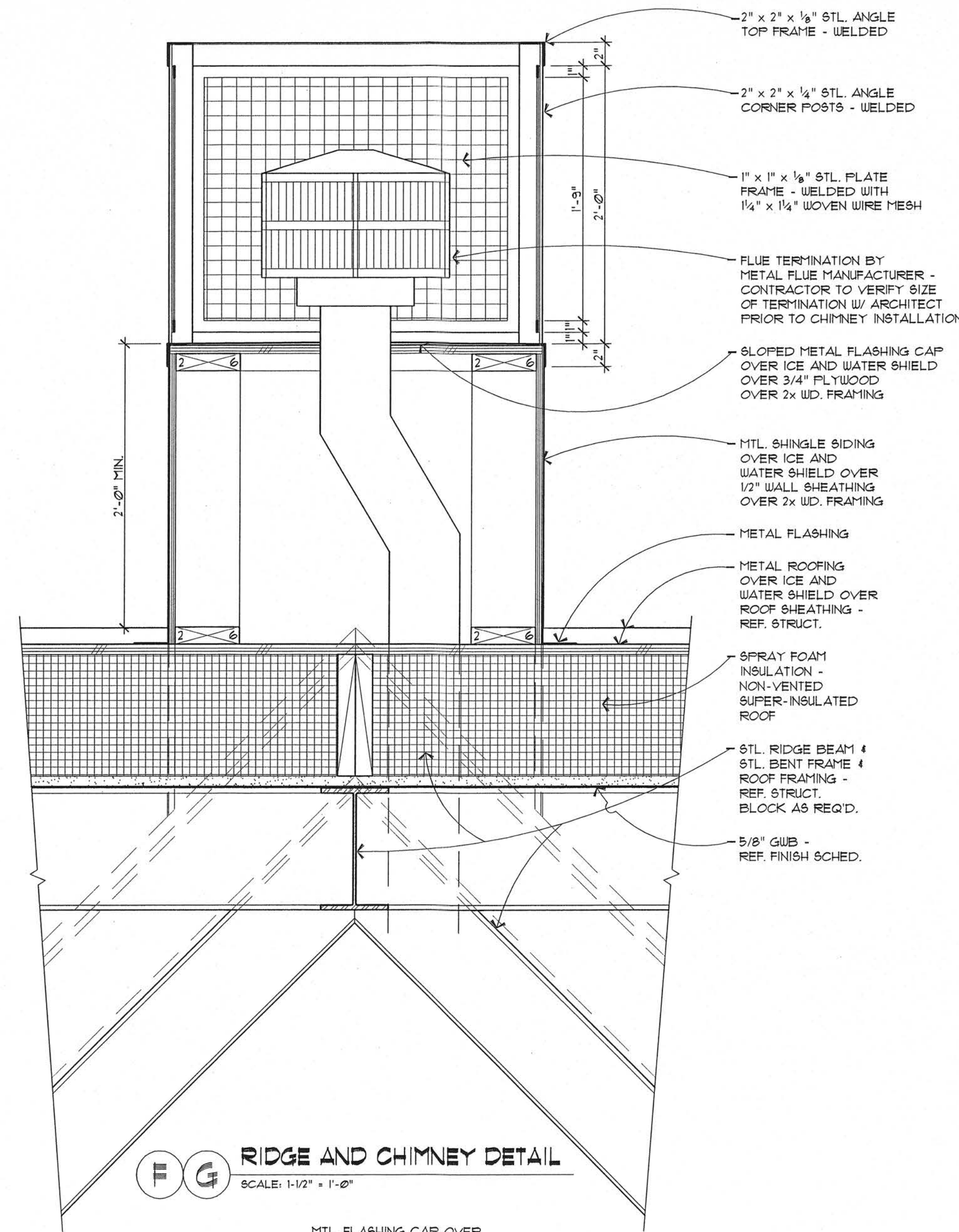
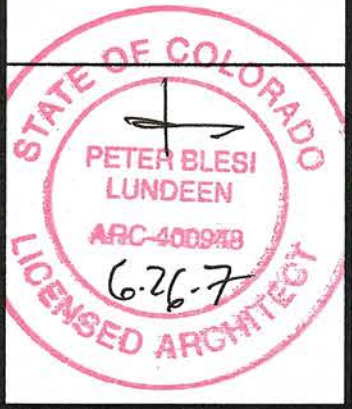
NOTES:
1. REFER TO NOTES ON PLANS AND ELEVATIONS FOR FURTHER CLARIFICATIONS.
2. VERIFY WINDOW COLOR, CLADDING AND INTERIOR FINISH WITH OWNER.
3. CONTRACTOR TO VERIFY ALL ROUGH OPENING DIMENSIONS AND TEMPERED GLAZING REQUIREMENTS.
4. REFER TO ELEVATIONS FOR CASEMENT HANDING.

04 JUNE, 2007

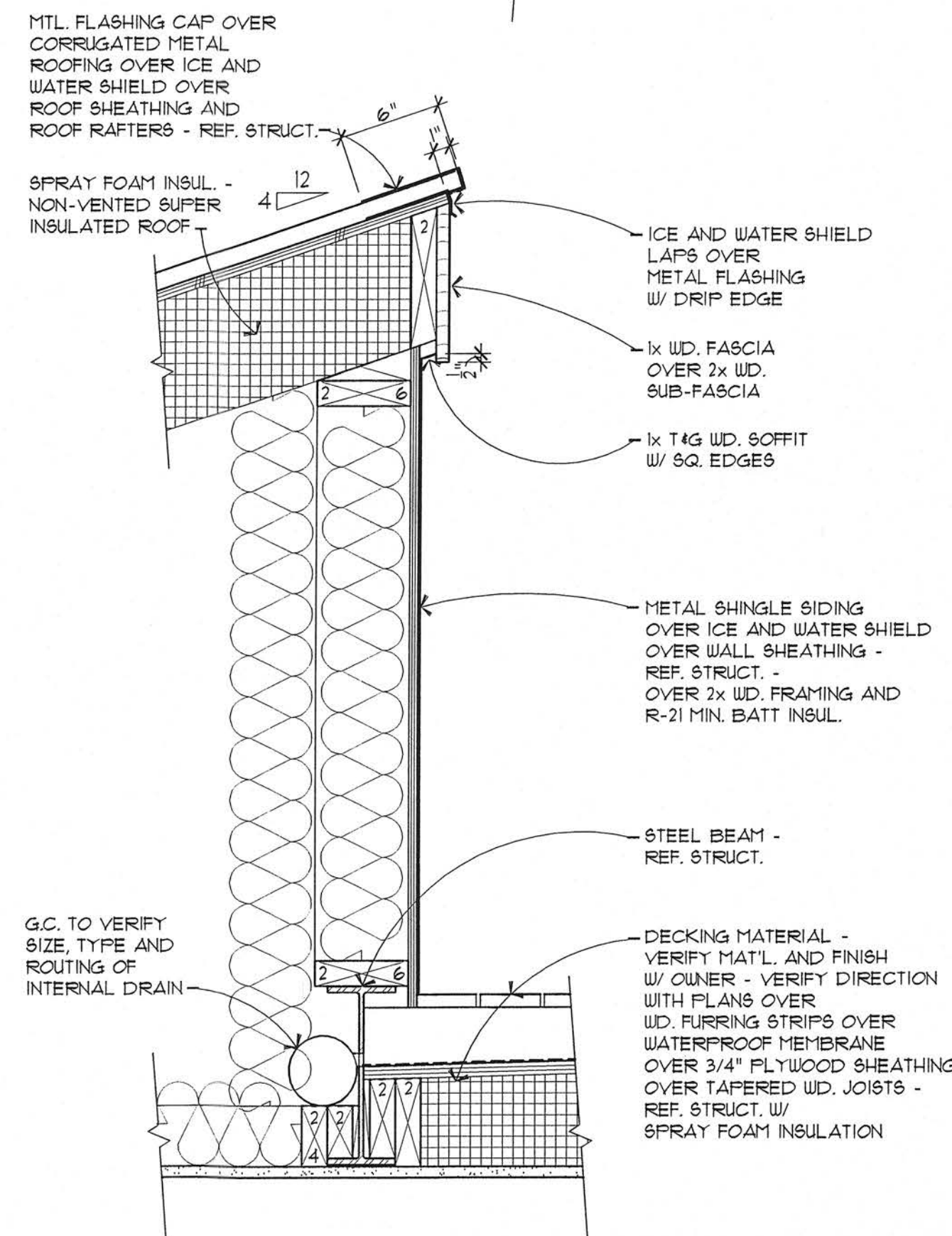


EXTERIOR DESIGN BY ONE ARCHITECTS, INC.

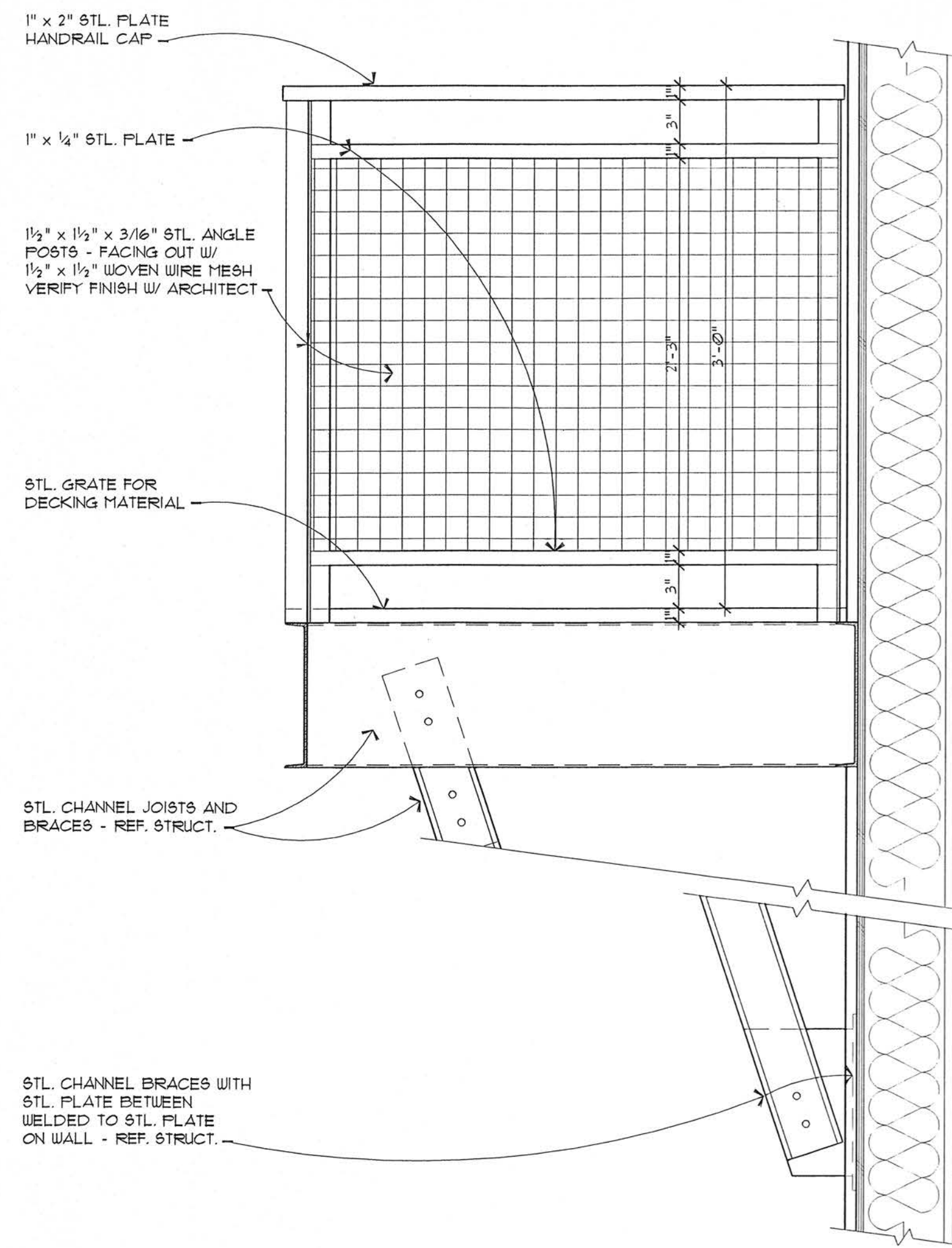




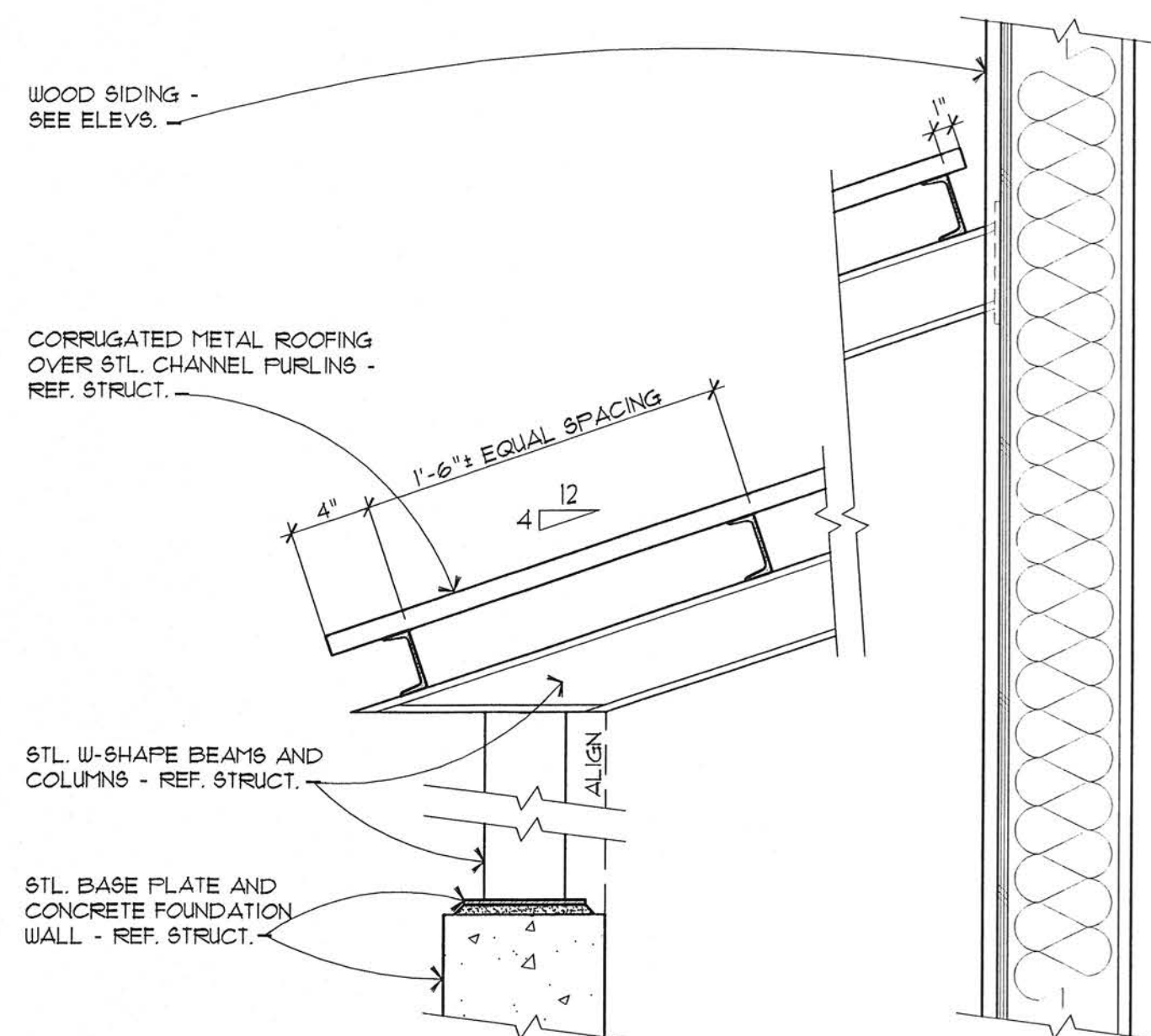
F G RIDGE AND CHIMNEY DETAIL
SCALE: 1-1/2" = 1'-0"



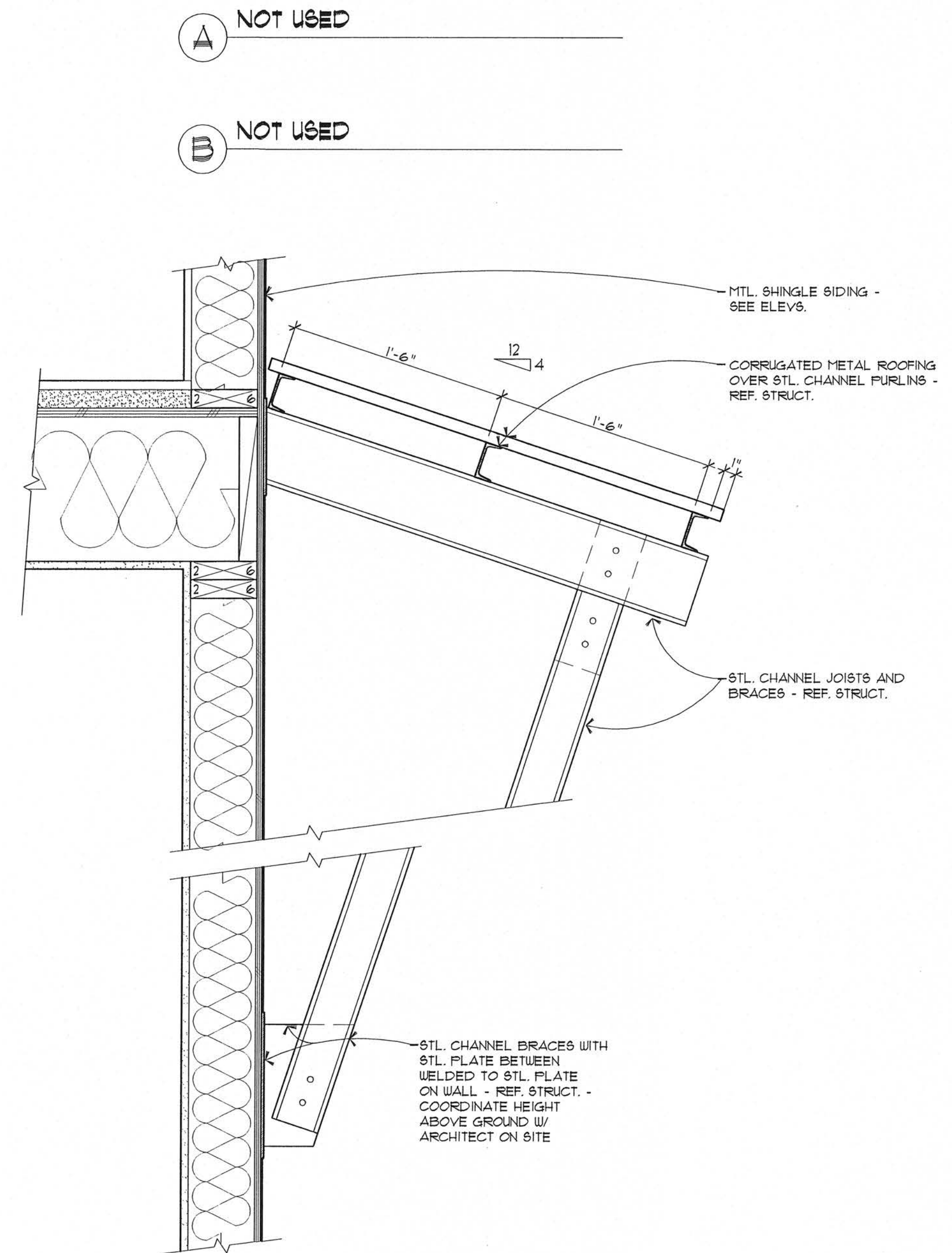
H TERRACE WALL AND ROOF EAVE DETAIL
SCALE: 1-1/2" = 1'-0"



D NON-COMBUSTIBLE DECK DETAIL
SCALE: 1-1/2" = 1'-0"



E NON-COMBUSTIBLE ROOF DETAIL
SCALE: 1-1/2" = 1'-0"

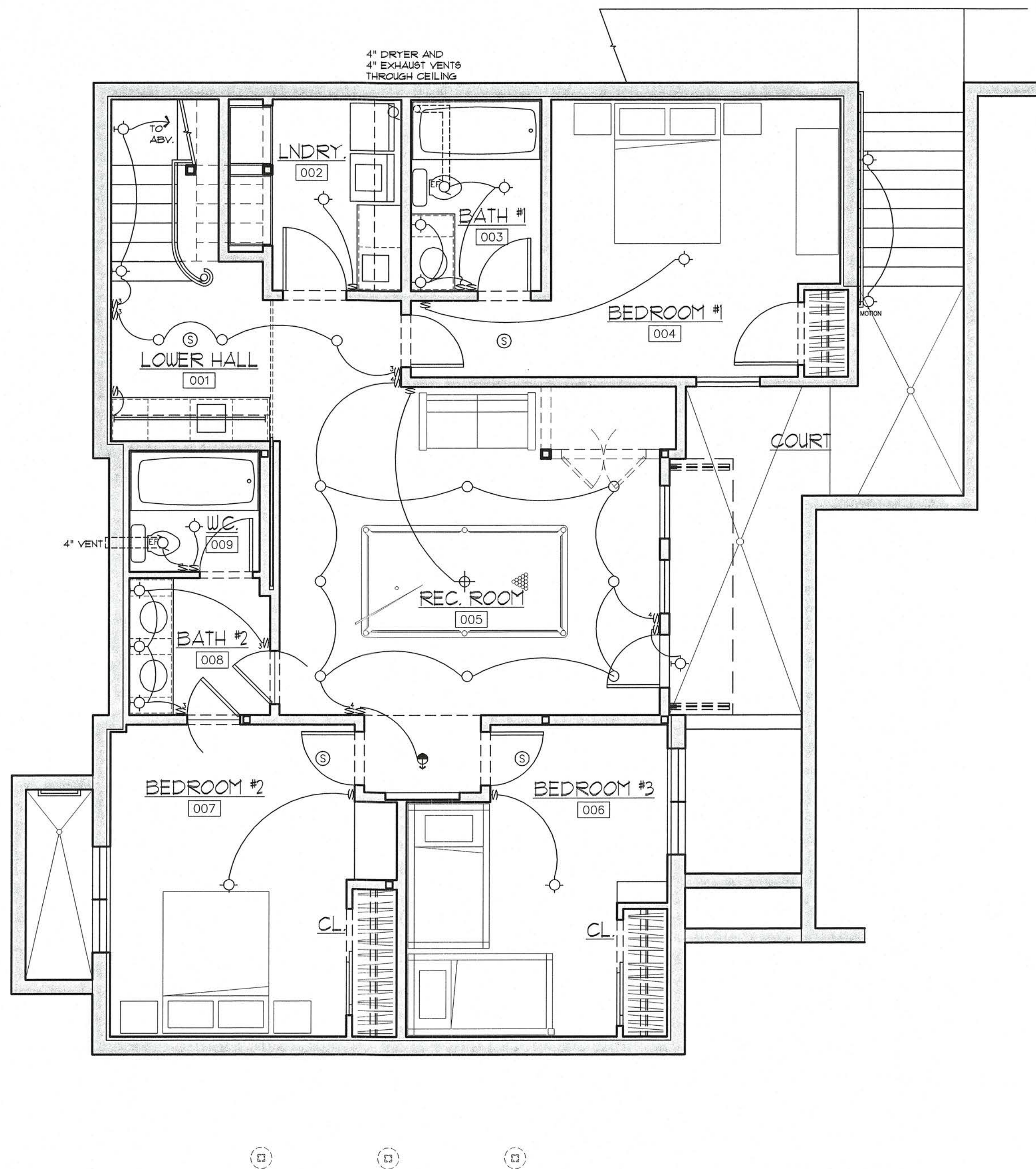
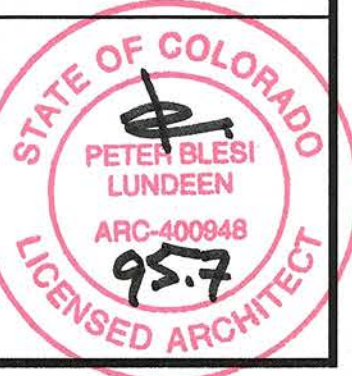


C ROOF DETAIL - LOW LEVEL ENTRY
SCALE: 1-1/2" = 1'-0"

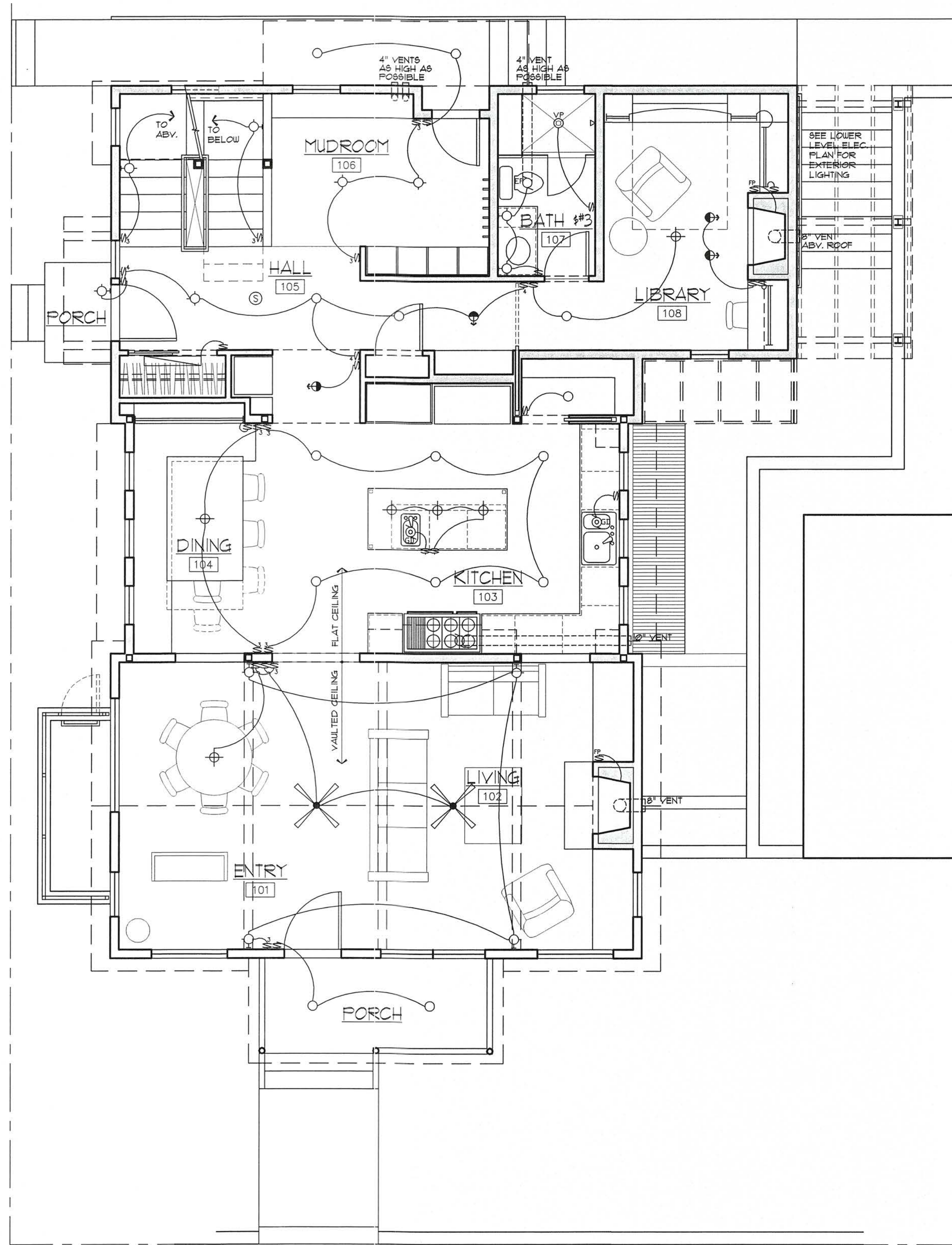
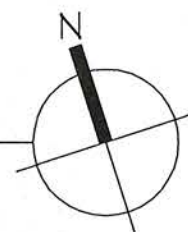
A NOT USED

B NOT USED

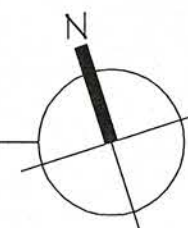




PROPOSED LOWER LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



PROPOSED MAIN LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



SYMBOLS LEGEND

- ⊕ 110V. DUPLEX RECEPTACLE
- ⊕_{HT} 110V. DUPLEX RECEPTACLE VER. HT. ABOVE COUNTER
- ⊕_{GF} 110V. DUPLEX RECEPTACLE GROUND FAULT INTERRUPT
- ⊕_{WP} 110V. DUPLEX RECEPTACLE WATERPROOF
- ⊕_{TS} 110V. DUPLEX RECEPTACLE TOP SWITCH CONTROLLED
- ⊕₂₂₀ 220 V. RECEPTACLE
- ⊕_{FM} 110V. DUPLEX RECEPTACLE FLUSH FLOOR MOUNTED
- ⊕_{CM} 110V. DUPLEX RECEPTACLE CEILING MOUNTED
- ⊕_{TP} TELEPHONE OUTLET (TWO PAIR TO EA OUTLET)
- ⊕_{SL} RECESSED STEP LIGHT
- ⊕_{SD} SPOT - DIRECTIONAL
- ⊕_{DL} RECESSED DOWNLIGHT
- ⊕_{VP} RECESSED DOWNLIGHT - VAPOR PROOF
- ⊕_{CM} FIXTURE - CEILING MOUNTED (EXT. + EXTERIOR SPEC. REQ'D.)
- ⊕_{CL} FIXTURE - CLG. MTD. PENDANT
- ⊕_{WM} FIXTURE - WALL MOUNTED (VERIFY HEIGHT - TYPICAL)
- ⊕_{WS} WALL WASH / SCONCE
- ⊕_{UL} UPLIGHTING - WALL MTD.
- ⊕_{SA} SWING ARM SCONCE
- ⊕_{SL} STRIP LIGHTING
- ⊕_{CF} CEILING FAN
- ⊕_{BL} BOLLARD LIGHTS
- ⊕_{SD} SWITCH - DOOR
- ⊕_S SINGLE POLE SWITCH
- ⊕_{TS} THREE WAY SINGLE POLE SWITCH
- ⊕_{FS} FOUR WAY SINGLE POLE SWITCH
- ⊕_{MS} MOTION SENSOR SWITCH
- ⊕_{CTV} CABLE TV OUTLET
- ⊕_{FP} FUTURE-PROOF (2) COAXIAL (VCR/CABLE) OUTLET (2) FIBER OPTIC (2) CAT-5 (PHONE/COMPUTER)
- ⊕_{SD} SMOKE DETECTOR
- ⊕_{EF} EXHAUST FAN
- ⊕_{GD} GARBAGE DISPOSAL
- ⊕_{DC} DOOR CHIME
- ⊕_{JBP} JETTED BATHTUB PUMP - VERIFY LOCATION
- ⊕_{EM} ELECTRIC METER
- ⊕_{MEP} MAIN ELECTRICAL PANEL
- ⊕_{CS} CEILING SPEAKER - RECESSED
- ⊕_{WS} WALL SPEAKER - RECESSED U.N.O.
- ⊕_{FF} FLUORESCENT FIXTURE (SIZE AS SHOWN)

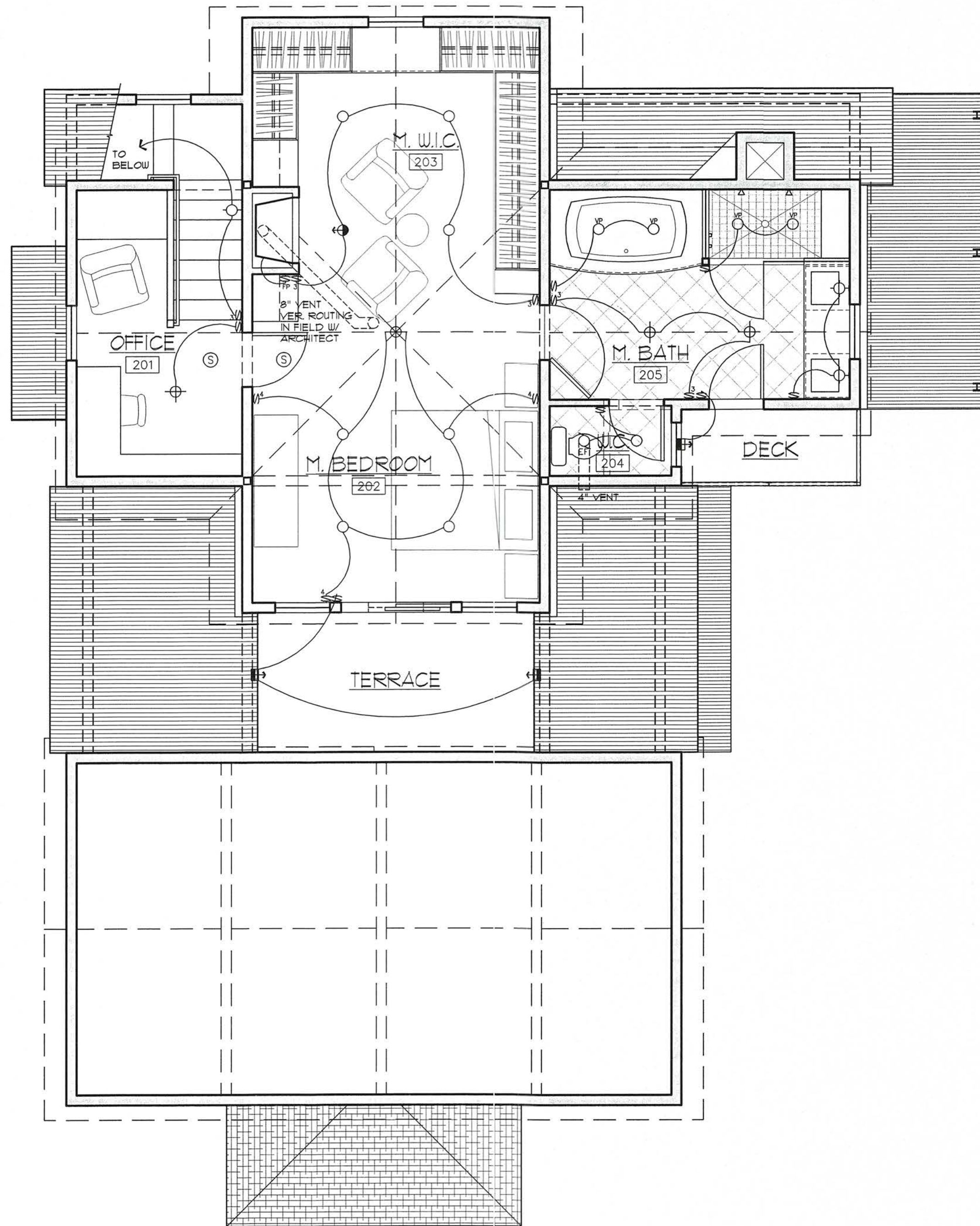
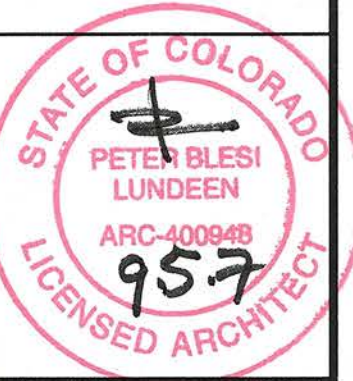
ELECTRICAL NOTES:

1. PRIOR TO ANY WORK BEING PERFORMED UNDER THIS DIVISION CONTRACTOR TO EXAMINE ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS AND IF ANY DISCREPANCIES OCCUR BETWEEN THEM AND THE ELECTRICAL DRAWINGS AND SPECIFICATIONS REPORT TO ARCHITECT TO OBTAIN DIRECTION.
2. CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS - MECHANICAL ROOMS WITH EQUIPMENT SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE OUTLET LOCATIONS AT ALL CMU AND CONCRETE WALLS.
4. FIRE STOP SHALL BE APPLIED AT ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH EQUIVALENT RATED METHODS.
5. CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR A LIGHT CONTROL SYSTEM, LITETOUCH OR SIMILAR, VERIFY EXTENT OF LIGHTING CONTROL SYSTEM WITH ARCHITECT/OWNER.
6. PROVIDE PHONE LINES AS FOLLOWS:
1 DEDICATED FAX LINE
3 PHONE LINES
7. ELECTRICAL CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL ELECTRICAL SWITCHES, OUTLETS AND FIXTURES WITH OWNER, CONTRACTOR AND ARCHITECT.
8. ELECTRICAL CONTRACTOR TO PROVIDE OUTLETS AT ALL LOCATIONS TO STANDARDS SET FORTH AND WITHIN COMPLETE ACCORDANCE WITH ALL CODES, REGULATIONS AND REQUIREMENTS OF ALL GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE WORK INCLUDING LOCAL UTILITIES AND IN ACCORDANCE WITH THE FIRE UNDERWRITERS REQUIREMENTS. FIELD VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL SMOKE DETECTORS WITH OWNER, CONTRACTOR AND ARCHITECT.
10. CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL LOW VOLTAGE WITH OWNER, CONTRACTOR AND ARCHITECT.
11. TYPICAL SWITCH HEIGHT AT 42" AFF. (UNO.)
ELECTRICAL CONTRACTOR TO VERIFY HEIGHT ABOVE SUBFLOOR WITH GENERAL CONTRACTOR.
12. CENTER HORIZONTAL OUTLETS IN BASE.

EXTERIOR DESIGN BY ONE ARCHITECTS, INC.

WEST PACIFIC CAMPUS
PROJECT #0605
513 W. Pacific Ave.
Town of Telluride
Colorado, 81435
CONSTRUCTION / PERMIT REVIEW SET
JUNE 6, 2007

A10=1
LOWER AND MAIN
LEVEL ELEC. PLANS



PROPOSED UPPER LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"
N

SYMBOLS LEGEND	
	110V. DUPLEX RECEPTACLE
	110V. DUPLEX RECEPTACLE VER. HT. ABOVE COUNTER
	110V. DUPLEX RECEPTACLE GROUND FAULT INTERRUPT
	110V. DUPLEX RECEPTACLE WATERPROOF
	110V. DUPLEX RECEPTACLE TOP SWITCH CONTROLLED
	220 V. RECEPTACLE
	110V. DUPLEX RECEPTACLE FLUSH FLOOR MOUNTED
	110V. DUPLEX RECEPTACLE CEILING MOUNTED
	TELEPHONE OUTLET (TWO PAIR TO EA OUTLET)
	RECESSED STEP LIGHT
	SPOT - DIRECTIONAL
	RECESSED DOWNLIGHT
	RECESSED DOWNLIGHT - VAPOR PROOF
	FIXTURE - CEILING MOUNTED (EXT. = EXTERIOR SPEC. REQ'D.)
	FIXTURE - CLG. MTD. PENDANT
	FIXTURE - WALL MOUNTED (VERIFY HEIGHT - TYPICAL)
	WALL WASH / SCONCE
	UPLIGHTING - WALL MTD.
	SWING ARM SCONCE
	STRIP LIGHTING
	CEILING FAN
	BOLLARD LIGHTS
	SWITCH & DOOR
	SINGLE POLE SWITCH
	THREE WAY SINGLE POLE SWITCH
	FOUR WAY SINGLE POLE SWITCH
	MOTION SENSOR SWITCH
	CABLE TV OUTLET
	FUTURE-PROOF (2) COAXIAL (VCR/CABLE) OUTLET (2) FIBER OPTIC (2) CAT-5 (PHONE/COMPUTER)
	SMOKE DETECTOR
	EXHAUST FAN
	GARBAGE DISPOSAL
	DOOR CHIME
	JETTED BATHTUB PUMP - VERIFY LOCATION
	ELECTRIC METER
	MAIN ELECTRICAL PANEL
	CEILING SPEAKER - RECESSED
	WALL SPEAKER - RECESSED U.N.O.
	FLUORESCENT FIXTURE (SIZE AS SHOWN)

ELECTRICAL NOTES:

- PRIOR TO ANY WORK BEING PERFORMED UNDER THIS DIVISION CONTRACTOR TO EXAMINE ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS AND IF ANY DISCREPANCIES OCCUR BETWEEN THEM AND THE ELECTRICAL DRAWINGS AND SPECIFICATIONS REPORT TO ARCHITECT TO OBTAIN DIRECTION.
- CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS & MECHANICAL ROOMS WITH EQUIPMENT SPECIFICATIONS.
- CONTRACTOR TO COORDINATE OUTLET LOCATIONS AT ALL CMU AND CONCRETE WALLS.
- FIRE STOP SHALL BE APPLIED AT ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH EQUIVALENT RATED METHODS.
- CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR A LIGHT CONTROL SYSTEM, LITETOUCH OR SIMILAR, VERIFY EXTENT OF LIGHTING CONTROL SYSTEM WITH ARCHITECT/OWNER.
- PROVIDE PHONE LINES AS FOLLOWS:
1 DEDICATED FAX LINE
3 PHONE LINES
- ELECTRICAL CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL ELECTRICAL SWITCHES, OUTLETS AND FIXTURES WITH OWNER, CONTRACTOR AND ARCHITECT.
- ELECTRICAL CONTRACTOR TO PROVIDE OUTLETS AT ALL LOCATIONS TO STANDARDS SET FORTH AND WITHIN COMPLETE ACCORDANCE WITH ALL CODES, REGULATIONS AND REQUIREMENTS OF ALL GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE WORK INCLUDING LOCAL UTILITIES AND IN ACCORDANCE WITH THE FIRE UNDERWRITERS REQUIREMENTS, FIELD VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL SMOKE DETECTORS WITH OWNER, CONTRACTOR AND ARCHITECT.
- CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL LOW VOLTAGE WITH OWNER, CONTRACTOR AND ARCHITECT.
- TYPICAL SWITCH HEIGHT AT 42" AFF. (UNO.)
TYPICAL SWITCH HEIGHT AT 36" AFF AT BED LOCATIONS (UNO.)
- CENTER HORIZONTAL OUTLETS IN BASE.
ELECTRICAL CONTRACTOR TO VERIFY HEIGHT ABOVE SUBFLOOR WITH GENERAL CONTRACTOR.

EXTERIOR DESIGN BY ONE ARCHITECTS, INC.

WEST PACIFIC CAMPUS
PROJECT #0605
573 W. Pacific Ave.
Town of Telluride
Colorado, 81435
CONSTRUCTION / PERMIT REVIEW SET
JUNE 6, 2007

UPPER LEVEL ELEC. PLAN

GENERAL NOTES

- ALL REQUIRED WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS; THEY SHALL BE ONE AND THE SAME.
- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS, & THE CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CONFORMANCE OF ALL WORK TO ANY AND ALL APPLICABLE BUILDING CODES (INCLUDING PLUMBING AND ELECTRICAL). ANY DISCREPANCIES OR NONCONFORMING ITEMS FOUND IN THE DRAWINGS MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- IMMEDIATELY FOLLOWING THE AWARDING OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE, ANY AND ALL CHANGES OR SUBMITTALS AFFECTING CONSTRUCTION COST OR SCHEDULE SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. ANY DISCREPANCIES OR NONCONFORMING ITEMS FOUND IN THE DRAWINGS MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PERFORMED BY THE VARIOUS SUB-CONTRACTORS, AND SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, WALLS AND CEILINGS WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT, THE PROTECTION OF NEIGHBORING PROPERTIES, AND THE COMPLIANCE TO ALL OSHA REQUIREMENTS.
- THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS. THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOBSITE.
- THE DRAWINGS SHOULD NOT BE SCALED. IF A DIMENSION CANNOT BE DETERMINED THE CONTRACTOR SHALL PROMPTLY CONTACT THE ARCHITECT FOR VERIFICATION. WHEN DRAWINGS HAVE BEEN REVISED, NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT INSTALLATION METHODS CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE MATERIALS SPECIFIED ARE INTENDED TO MEET CODE REQUIREMENTS. ANY DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND CODE REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BY THE CONTRACTOR, PRIOR TO PROCEEDING WITH THE SPECIFIED WORK.
- ELECTRICAL SERVICE, WIRING, ETC. SHALL COMPLY WITH APPLICABLE ELECTRICAL CODES.
- PLUMBING SHALL COMPLY WITH APPLICABLE PLUMBING CODES.
- ALL MATERIALS PROVIDED SHALL CONFORM TO ALL LOCAL, CITY AND/OR COUNTY FIRE REGULATIONS. CERTIFICATES, OR APPROVED FIRE RETARDANT PROCESSING PLANE SPREAD RATINGS, ETC., SHALL BE OBTAINED WITHOUT SPECIFIC REQUEST AND SUBMITTED TO THE ARCHITECT.
- THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY; WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. WHEN A CONFLICT OCCURS, THE SPECIFICATIONS SHALL HAVE PRECEDENCE.
- NO SUBSTITUTIONS OF SPECIFIED MATERIALS SHALL BE PERMITTED WITHOUT FIRST SUBMITTING SPECIFICATIONS, SAMPLES, AND COST IMPACT FOR ARCHITECT'S APPROVAL.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES ON THE PROJECT. ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- AT THE TIME OF BID SUBMITTAL, THE CONTRACTOR SHALL ADVISE THE ARCHITECT (IN WRITING) OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE, OUT OF THE BUDGET OR WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ROUGH PLUMBING AND FINAL HOOK-UP FOR ALL SPECIFIED FIXTURES AND APPLIANCES, AND SHALL SUPPLY ALL SUCH FIXTURES AND APPLIANCES, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL NECESSARY ACCESS PANELS (IN PARTITIONS, FLOORS, OR CEILINGS) AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED FLUSH WITH THE SURFACE IN WHICH THEY ARE INSTALLED WITH NO EXPOSED TRIM.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL BLOCKING AND SUPPORTS IN PARTITIONS AND CEILINGS AS REQUIRED FOR INSTALLATION OF SPECIFIED EQUIPMENT, ACCESSORIES, CABINETRY, FINISH MATERIALS, AND FIRE BLOCKING (SEE BELOW).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY UTILITIES (POWER, LIGHTING, WATER) TO THE JOB SITE FOR USE BY ALL CONSTRUCTION TRADES, INCLUDING THOSE NOT A SUBCONTRACTOR TO THE GENERAL CONTRACTOR. CONTRACTOR TO USE WIND-POWER ELECTRICAL ENERGY FOR TEMP. POWER.
- CONTRACTOR SHALL PROVIDE A FLOOR DRAIN IN A UTILITY AREA FOR DRAINAGE OF CONDENSATE AND/OR OVERFLOW FROM ALL MECHANICAL EQUIPMENT INCLUDING THE HOT WATER HEATER.
- FOR WALLS SEPARATING GARAGE AND LIVING SPACE, PROVIDE (1) LAYER 5/8" TYPE 'X' GIB ON EACH SIDE OF STUDS, FOR CEILING/FLOORS SEPARATING GARAGE AND LIVING SPACE, PROVIDE (2) LAYERS 5/8" TYPE 'X' GIB AT CEILING.
- CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL MATERIAL TAKE-OFFS DONE BY SUB-CONTRACTORS.

ALL FIRE BLOCKING AND DRAFT STOPPING TO CONFORM WITH SECTION 1112 OF THE IBC.

GENERAL HANDRAIL NOTE: HANDRAILS MUST RUN FULL LENGTH OF STAIRS LOCATED 34" TO 38" ABOVE STAIR NOSING, BE 1-1/4" TO 2" IN DIAMETER AND BE LOCATED 1-1/2" AWAY FROM THE WALL PER SECTION 1009.11.

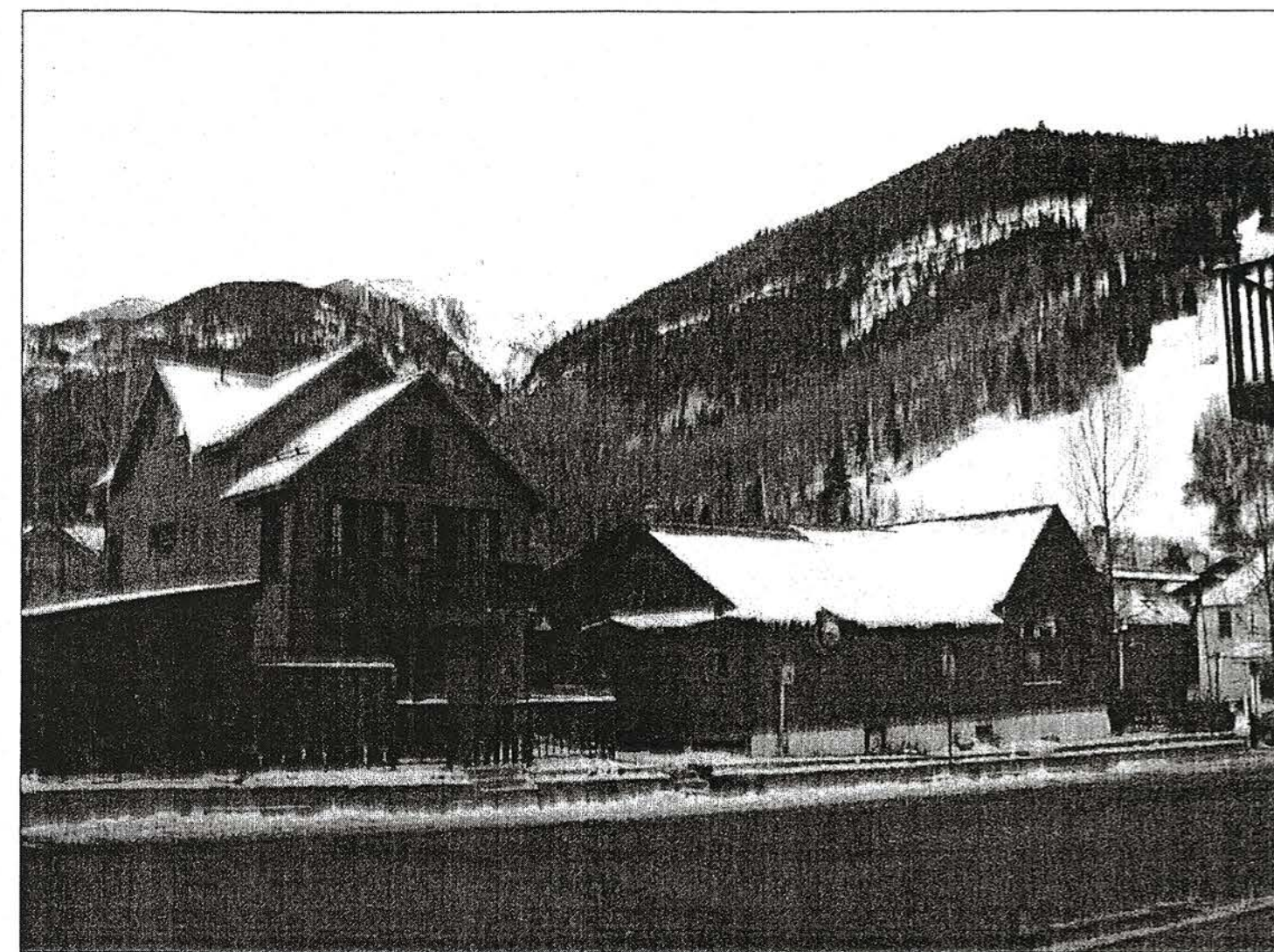
THE MAXIMUM THRESHOLD HEIGHT MEASURED AT THE DOOR TO THE LANDING ALONG AN EGRESS ROUTE SHOULD NOT EXCEED 0.50" PER SECTION 1008.16 OF THE IBC.

ALL INSULATION SHOULD BE INSTALLED IN ACCORDANCE WITH SECTION 1102.

BUILDING PAPER SHOULD BE APPLIED TO EXTERIOR WALLS AS SPECIFIED IN SECTION 1403.3.

AT ALL STAIRS PROVIDE 6'-8" MINIMUM HEADROOM CLEARANCE PER SECTION 1009.2. THIS DISTANCE IS MEASURED FROM A PLANE TANGENT TO THE STAIRWAY TREAD NOSINGS.

GLASS AND GLAZING SUBJECT TO HUMAN IMPACT SHOULD COMPLY WITH SECTION 2406.3.



EXISTING HOUSE NORTHWEST CORNER



EXISTING HOUSE NORTHEAST CORNER

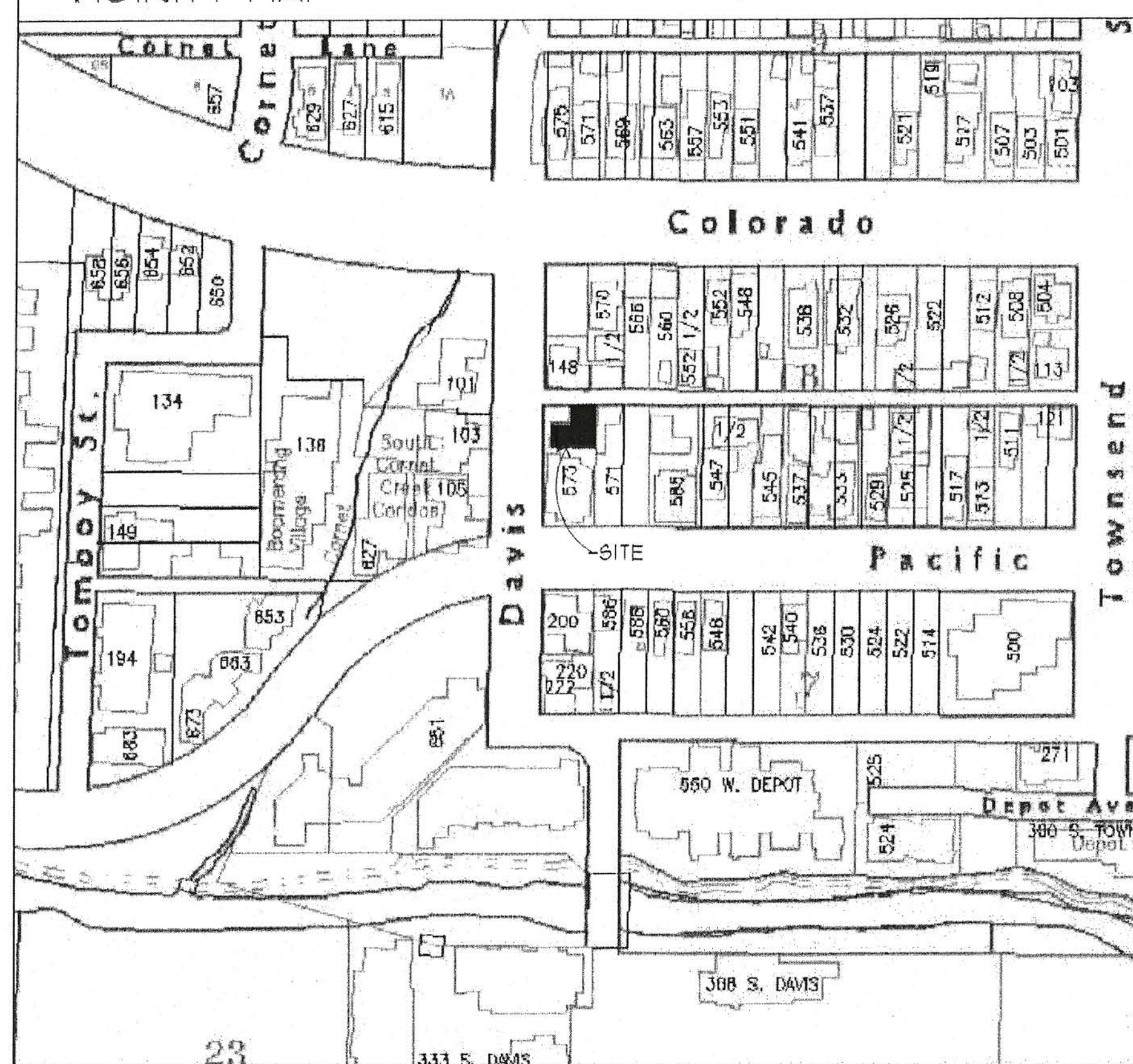


EXISTING HOUSE SOUTHWEST CORNER

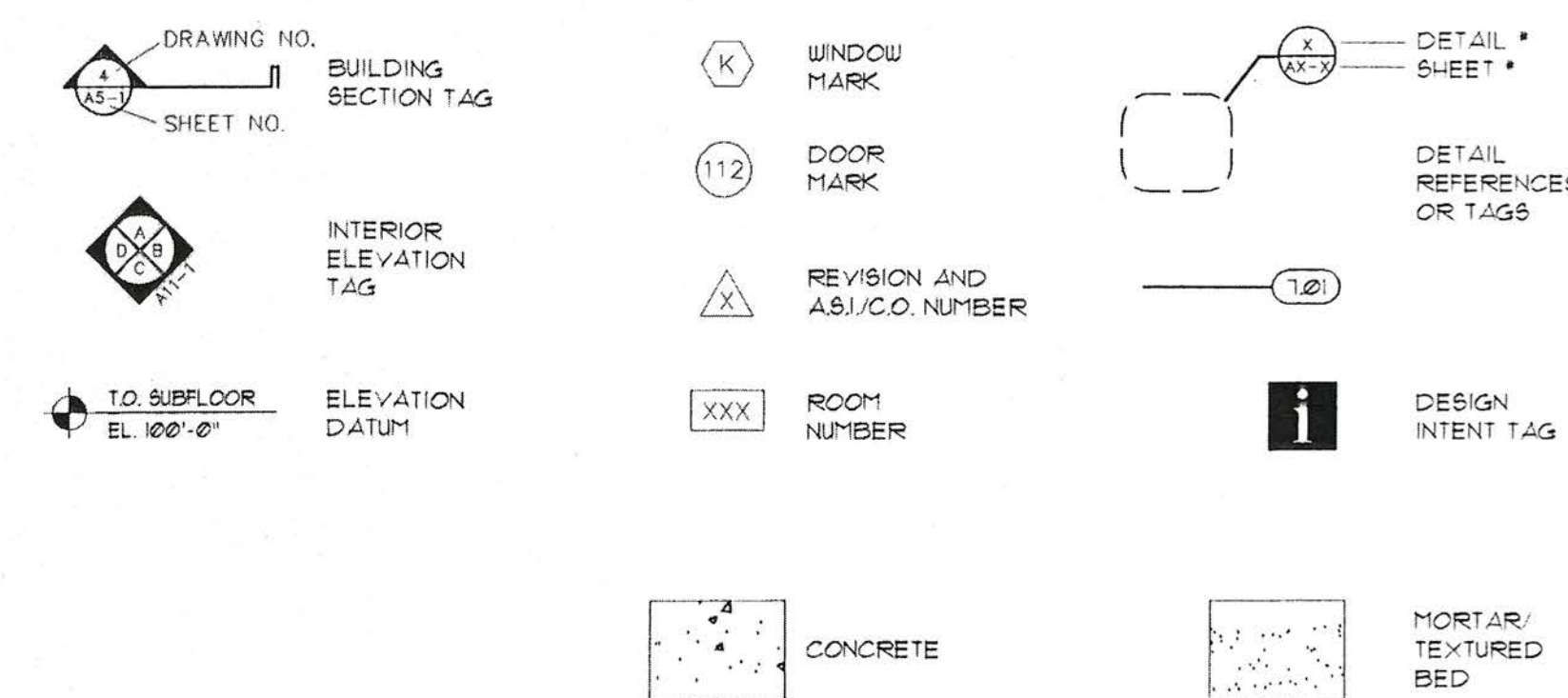


EXISTING HOUSE SOUTHEAST CORNER

VICINITY MAP



GRAPHIC SYMBOLS LEGEND



PROJECT INFORMATION

LEGAL DESCRIPTION:
573 W. PACIFIC AVE. UNIT 2
TELLURIDE, CO 81435

BLDG. OCCUPANCY: R-3

CONSTRUCTION TYPE:
TYPE 'V'

PHYSICAL DESCRIPTION:
REMODEL OF EXISTING 3-STORY HOUSE WITH
NEW 2-STORY ADDITION

SQUARE FOOTAGE:

EXISTING	PROPOSED
LEVEL 1 = 280 S.F.	LEVEL 1 = 808 S.F.
LEVEL 2 = 618 S.F.	LEVEL 2 = 822 S.F.
LEVEL 3 = 467 S.F.	LEVEL 3 = 467 S.F.
TOTAL = 1,365 S.F.	TOTAL = 2,097 S.F.
(NEW ADDITIONAL = 732 S.F.)	

SHEET INDEX

A1-0	TITLE SHEET
A3-1	EXISTING AND DEMO FLOOR AND ROOF PLANS
A3-2	PROPOSED FLOOR AND ROOF PLANS
A4-1	EXISTING AND DEMO EXTERIOR ELEVATIONS
A4-2	PROPOSED EXTERIOR ELEVATIONS AND DOOR AND WINDOW SCHEDULES
A5-1	PROPOSED BUILDING SECTIONS
A10-1	PROPOSED ELECTRICAL PLANS

PROJECT TEAM

SURVEYOR

FOLEY ASSOC.
125 W. PACIFIC B-1
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TELLURIDE, CO 81435

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(970) 728-6050 (FAX)

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LAURIE HAUPTMANN
222 SOUTH PARK AVE.
MONTROSE, CO 81401

(970) 249-6878
(970) 249-0945 (FAX)

STRUCTURAL ENGINEER

MIKE THELE, P.E.
2736 SEVEN OAKS ROAD
CARBONDALE, CO 81435

(970) 963-3181
(970) 963-3182 (FAX)

GENERAL CONTRACTOR

THE ALLISON COMPANY
10715 W. SHERMAN, SUITE 120
P.O. BOX 438
RIDGWAY, CO 81432

(970) 626-5143
(970) 626-5010 (FAX)

PROJECT DESIGN BY ONE ARCHITECTS, INC.

WEST PACIFIC
CAMPUS
PROJECT 10401
573 W. Pacific Ave.
UNIT 2
Town of Telluride
Colorado, 81435

CONSTRUCTION /
PERMIT REVIEW SET
MAY 1, 2001

Post Office Box 3201
16411 Society Drive
Telluride, Colorado 81435
phone/fax: 970.728.0841
Peter@smartlivingdesigns.com

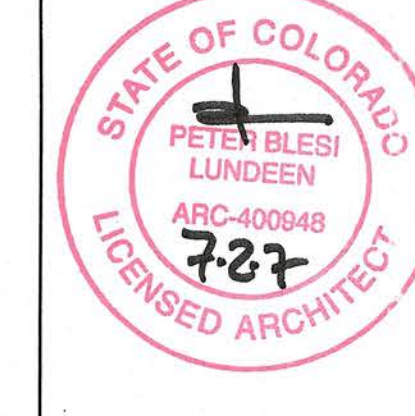
smart
living
designs

A1-0
TITLE SHEET

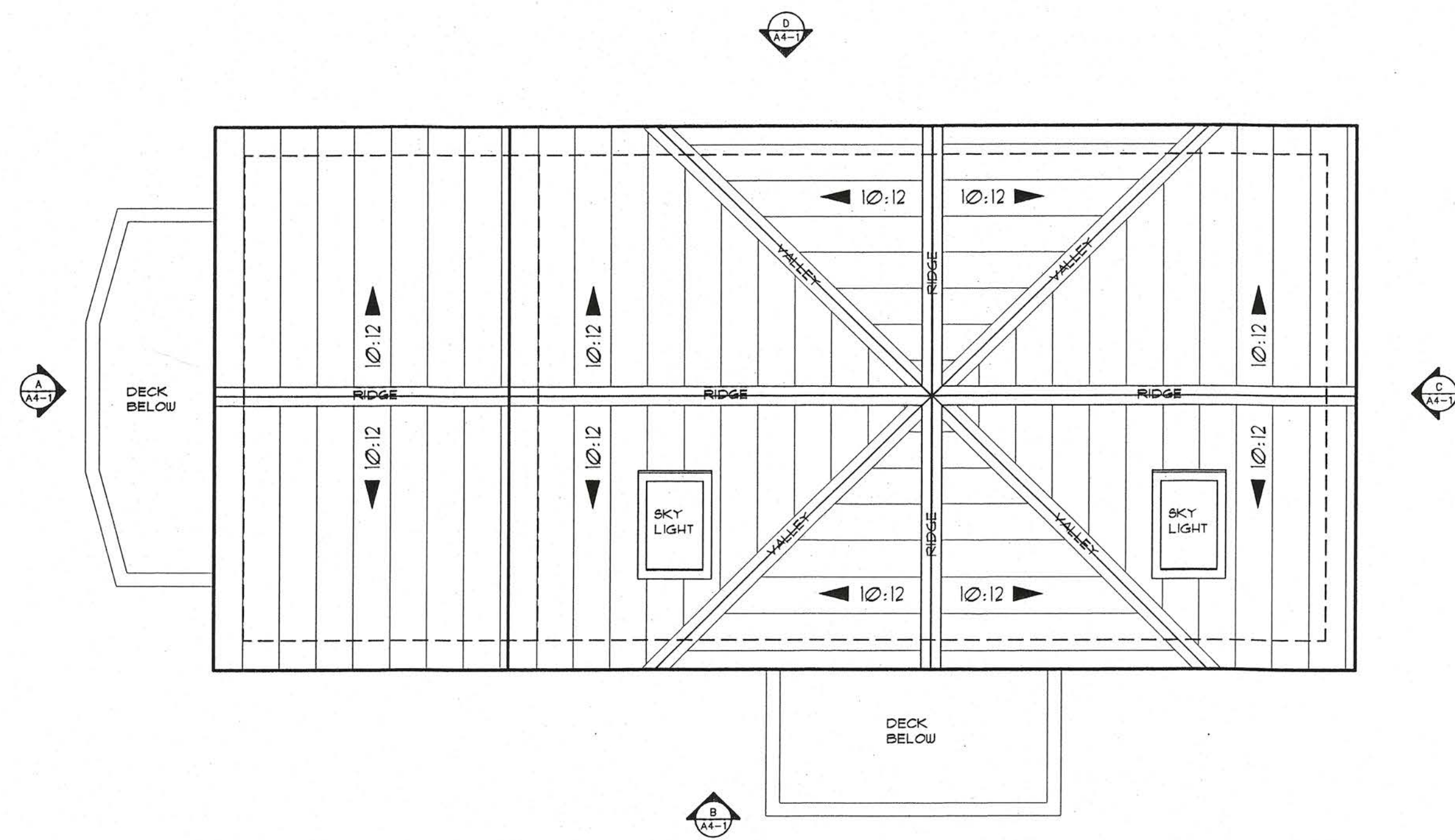
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573 "B"

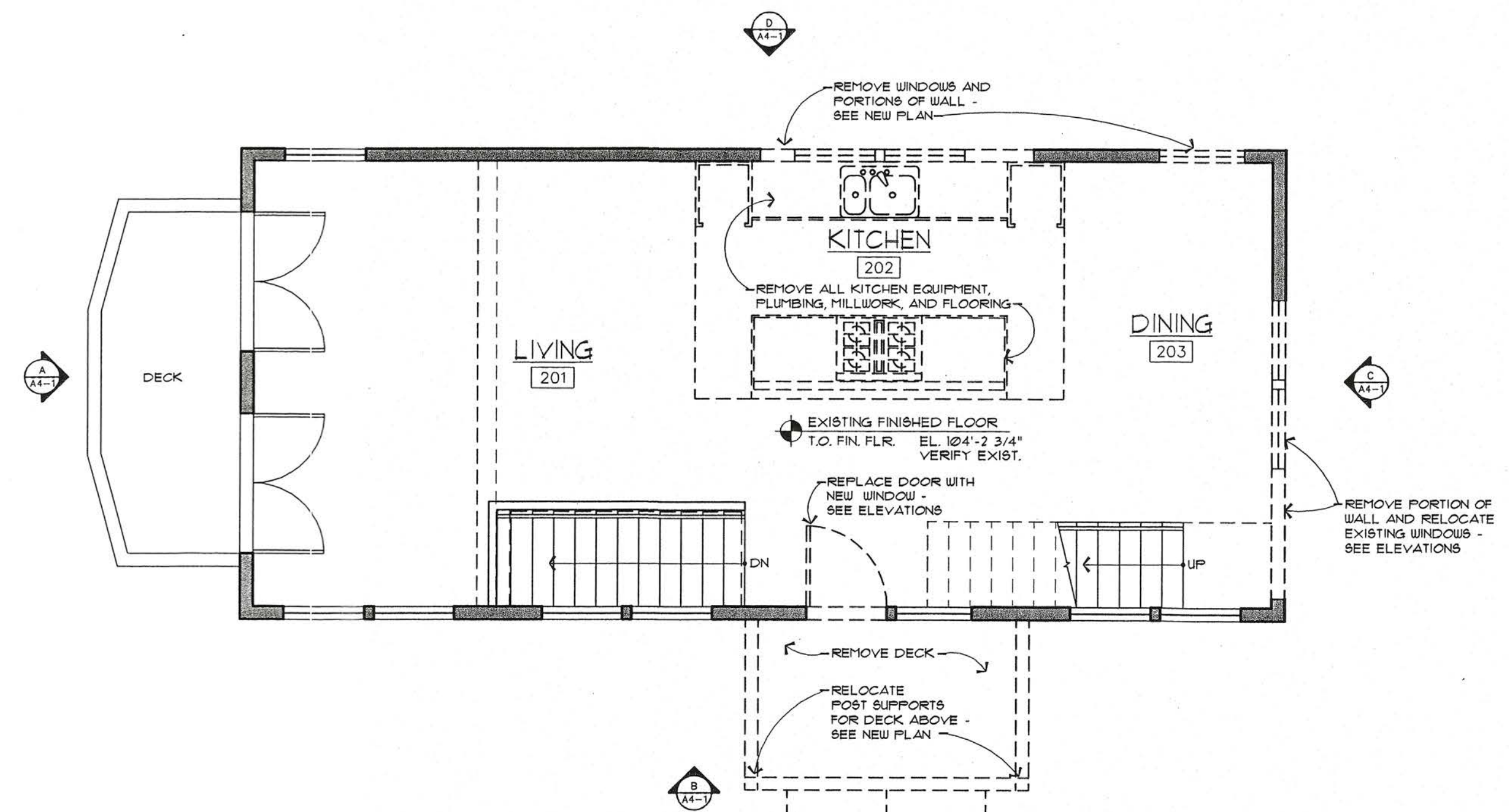
WPC - 573 W. PACIFIC - HOUSE REMODEL



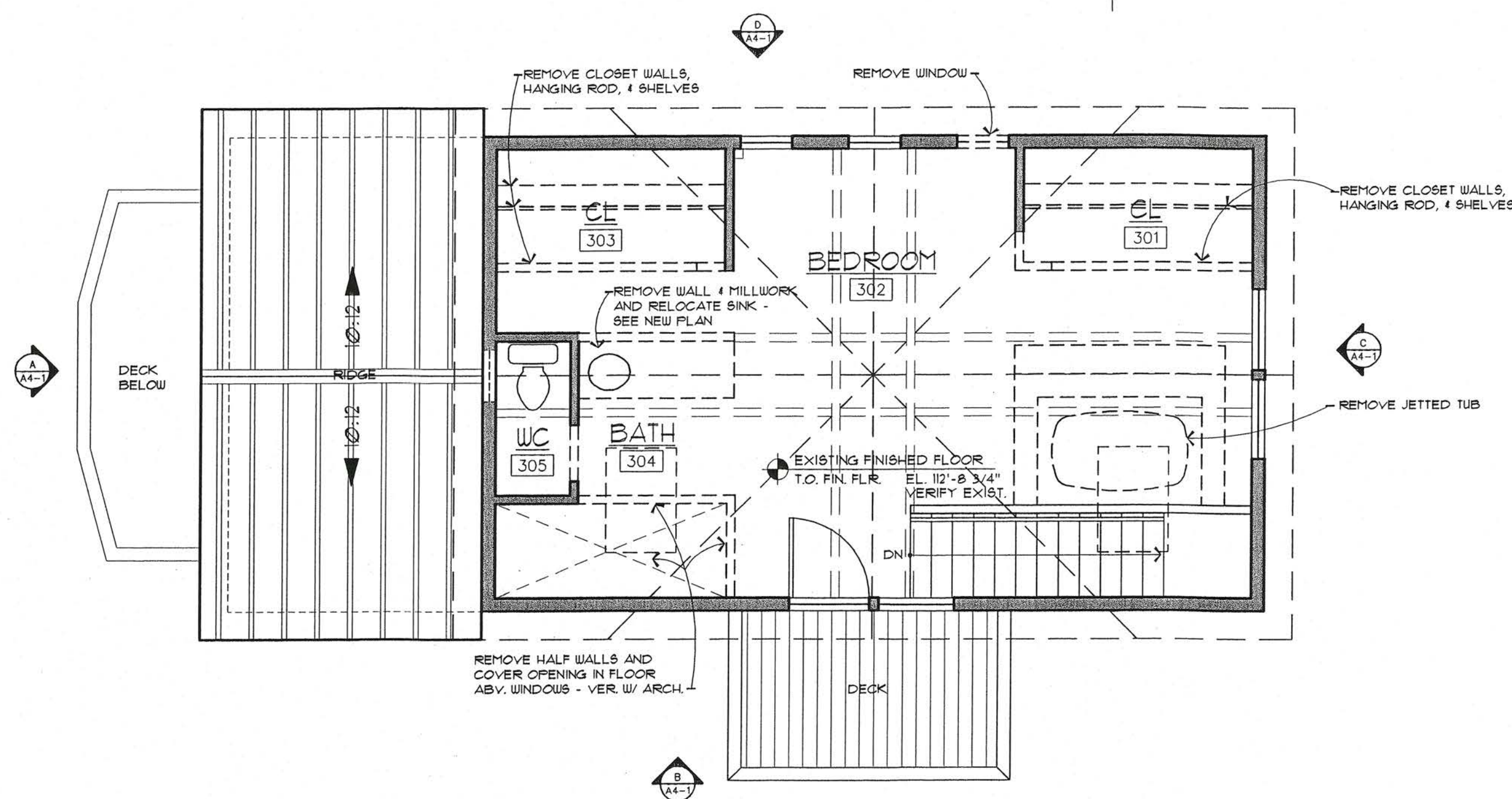
REVISIONS:



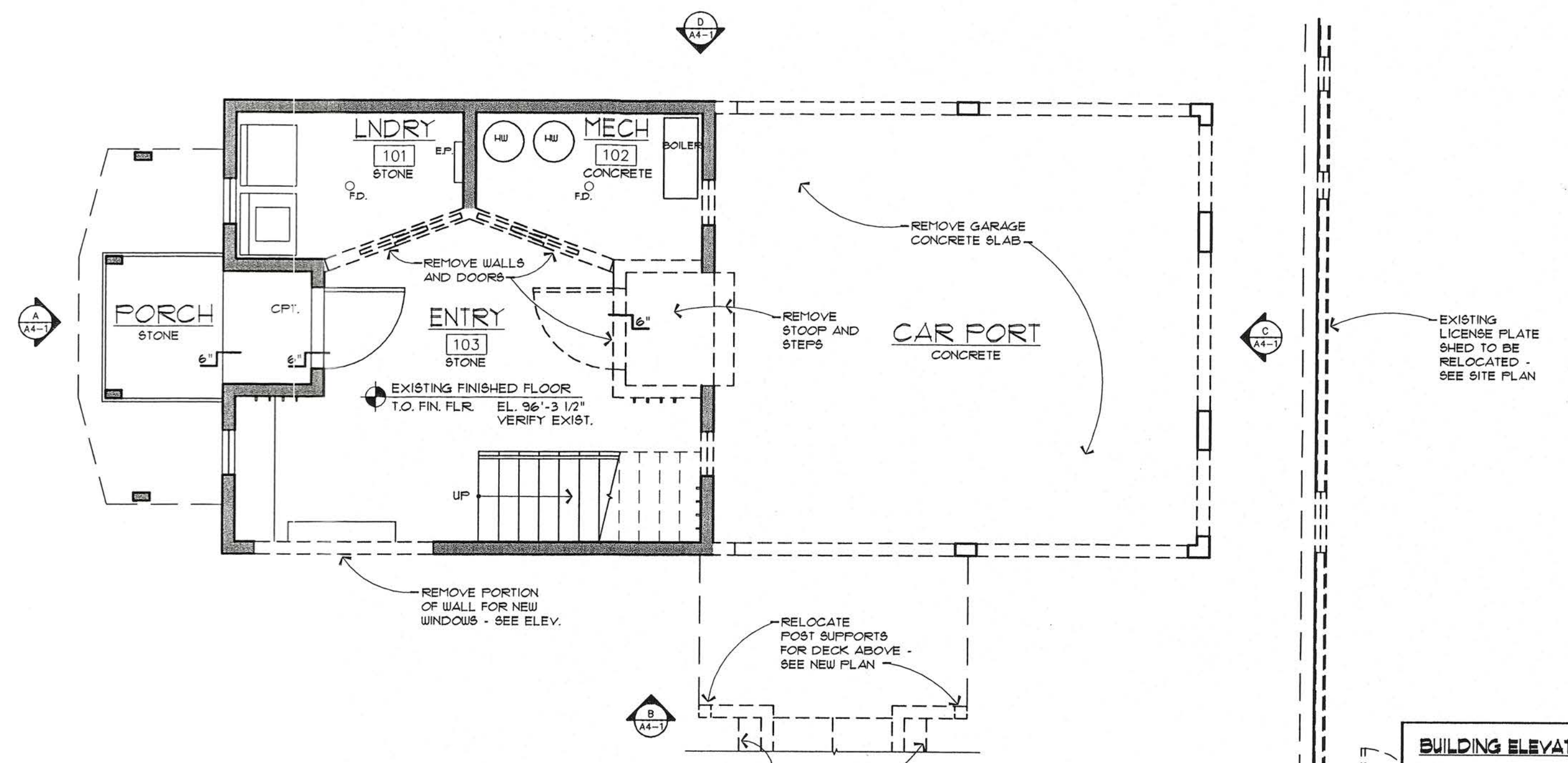
D EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



B LEVEL TWO EXISTING/DEMO PLAN
SCALE: 1/4" = 1'-0"



C LEVEL THREE EXISTING/DEMO PLAN
SCALE: 1/4" = 1'-0"



A LEVEL ONE EXISTING/DEMO PLAN
SCALE: 1/4" = 1'-0"

BUILDING ELEVATION

BUILDING EL. 100'-0" ± SITE EL. 8,149'-8 1/2"
VERIFY EXISTING BLDG. ELEVATIONS

PROJECT DESIGN BY ONE ARCHITECTS, INC.

WEST PACIFIC CAMPUS
PROJECT #0401
513 W. Pacific Ave.
UNIT 2
Twin of Telluride
Colorado, 81435

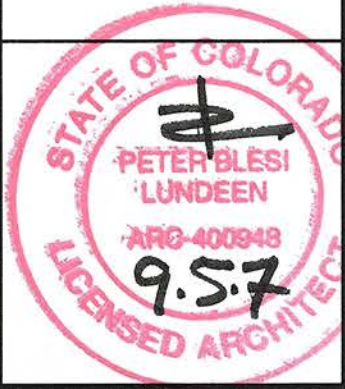
smart living designs

CONSTRUCTION / PERMIT REVIEW SET
MAY 1, 2007

Post Office Box 3201
16411 Society Drive
Telluride, Colorado 81435
phone/fax: 970.728.0841
peter@smartlivingdesigns.com

A3=1
EXISTING HOUSE PLANS

RIGHT 2007

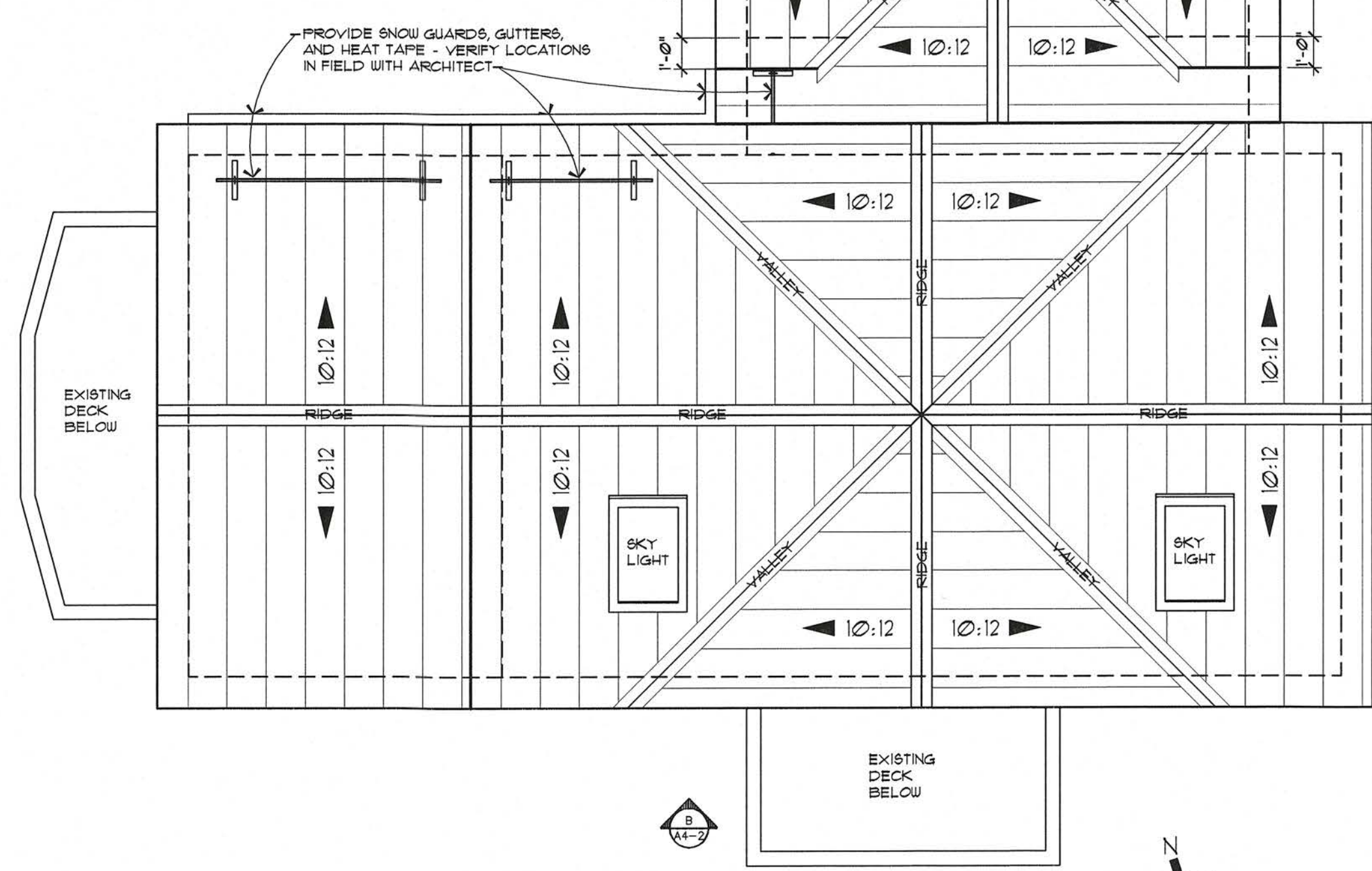


WPC - 573 W. PACIFIC UNIT 2
DOOR SCHEDULE

2 SEPTEMBER, 2006

N.O.	RM. NAME	FACE WIDTH	HEIGHT	THK.	TYPE	MATERIAL	FINISH	HARDWR.	REMARKS
101	LAUNDRY	3'-0"	6'-0"	1 3/4"	A	WOOD	STAINED	PASSAGE	VERIFY DOOR HEIGHT W/ OWNER
102	MECHANICAL	3'-0"	6'-0"	1 3/4"	A	WOOD	STAINED	PASSAGE	"
103	W.I.C.	2'-4"	6'-0"	1 3/4"	A	WOOD	STAINED	PASSAGE	"
104	BEDROOM #1	2'-6"	6'-0"	1 3/4"	A	WOOD	STAINED	PRIVACY	"
105	CLOSET	(2) 2'-0"	6'-0"	1 3/4"	A	WOOD	STAINED	PASSAGE	"
106	BATH #1	2'-6"	6'-0"	1 3/4"	A	WOOD	STAINED	PRIVACY	"
107	W.C.	2'-6"	6'-0"	1 3/4"	A	WOOD	STAINED	PRIVACY	"
108	BEDROOM #2	2'-6"	6'-0"	1 3/4"	A	WOOD	STAINED	PRIVACY	"
109	CLOSET	(2) 2'-0"	6'-0"	1 3/4"	A	WOOD	STAINED	PASSAGE	"
201	PANTRY	2'-0"	3'-2 1/2"	1 3/4"	A	WOOD	STAINED	PASSAGE	VERIFY DOOR HEIGHT BELOW STAIR
202	HALL / DEN	4'-2"	6'-0"	1 3/4"	B	WOOD	STAINED	POCKET	VERIFY DOOR HEIGHT W/ OWNER
203	BATH #2	2'-4"	6'-0"	1 3/4"	A	WOOD	STAINED	PRIVACY	"
301	CLOSET	(2) 2'-0"	5'-6"	1 3/4"	A	WOOD	STAINED	PASSAGE	"
302	CLOSET	2'-0"	5'-6"	1 3/4"	A	WOOD	STAINED	PASSAGE	"
303	STORAGE	2'-0"	5'-6"	1 3/4"	A	WOOD	STAINED	LOCK-OFF	"
304	M. BATH	2'-4"	6'-0"	1 3/4"	A	WOOD	STAINED	PRIVACY	"
305	W.C.	2'-0" +/-	6'-0" +/-	1 3/4"	A	WOOD	STAINED	PRIVACY	VERIFY DOOR SIZE WITH EXISTING OPENING
306	SHOWER	2'-0"	6'-2"	1/2"	G	GLASS	CLEAR	SHOWER	TEMPERED GLASS - VER. HT. W/ OWNER

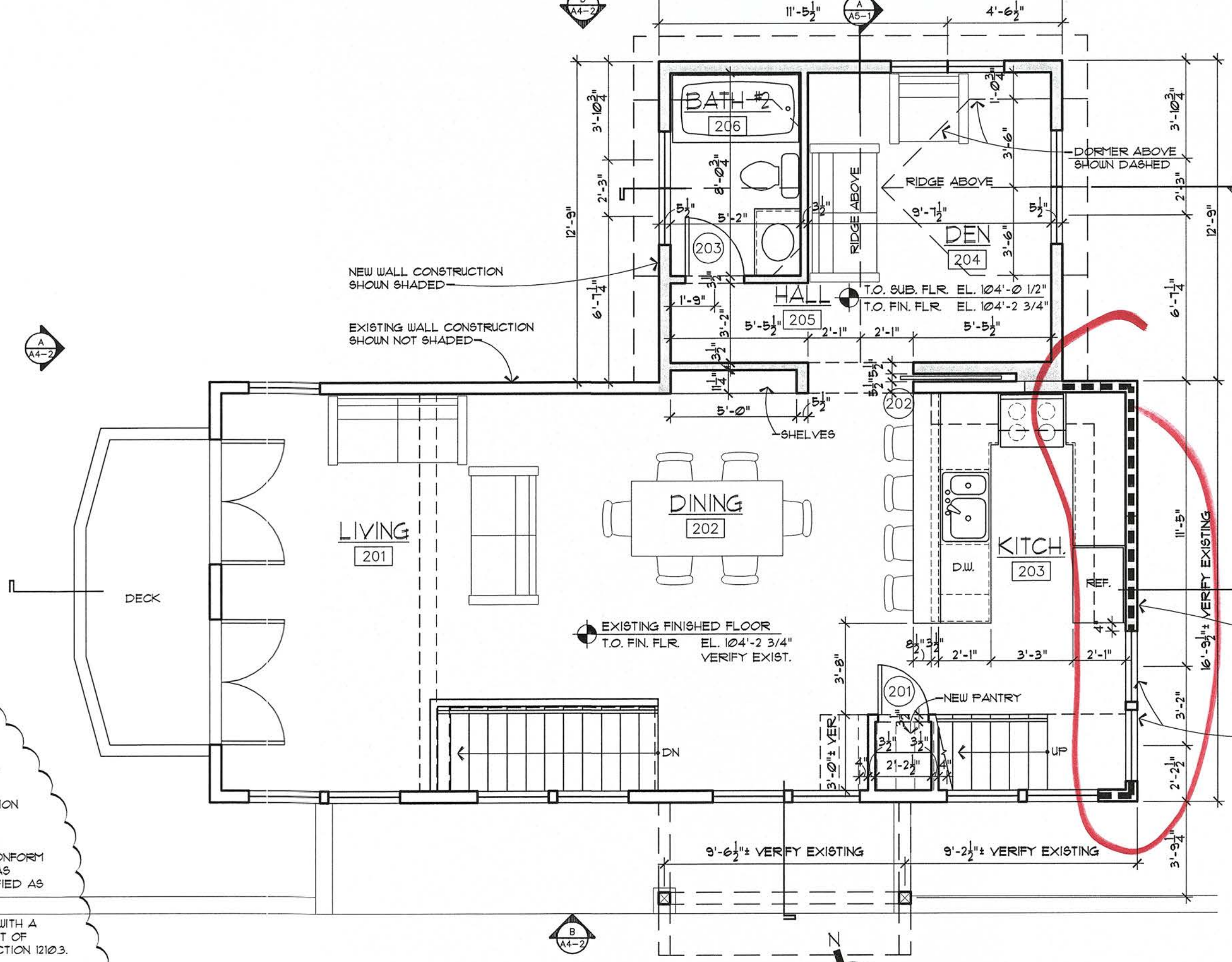
NOTE:
1. VERIFY HARDWARE SPECIFICATIONS WITH OWNER.
2. REFER TO NOTES ON DRAWINGS FOR FURTHER CLARIFICATIONS.
3. CONTRACTOR TO VERIFY ALL ROUGH OPENING DIMENSIONS.



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

CODE NOTES:

- VERIFY EXISTING STAIRS HAVE:
MIN. RISE = 4"
MAX. RISE = 8"
MIN. TREAD = 9"
THE LARGEST TREAD OR RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST (TREAD OR RISER) BY MORE THAN 3/8" PER SECTION 1029.3 EXCEPTION 4.
- THE OPEN SIDE OF ANY STAIRS SHOULD BE PROVIDED WITH A GUARDRAIL AS PER SECTION 1021 OF THE IBC.
- NONABSORBENT FINISH AND BACKING FOR TOILET ROOM WALLS AND FLOOR SHOULD CONFORM WITH SECTION 1202. ALL SHEETROCK IN AREAS SUBJECTED TO MOISTURE SHOULD BE SPECIFIED AS "WATER RESISTIVE".
- SHOWER STALL WALLS SHOULD BE FINISHED WITH A HARD, NONABSORBENT SURFACE TO A HEIGHT OF 10 INCHES ABOVE THE DRAIN INLET PER SECTION 1203.
- ENCLOSED USABLE SPACE UNDER STAIRS SHOULD BE PROTECTED AS REQUIRED FOR ONE-HOUR CONSTRUCTION PER SECTION 1021.5 OF THE IBC.
- EVERY SLEEPING ROOM BELOW THE FOURTH FLOOR SHOULD HAVE AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EXIT OR RESCUE PER SECTION 1025.



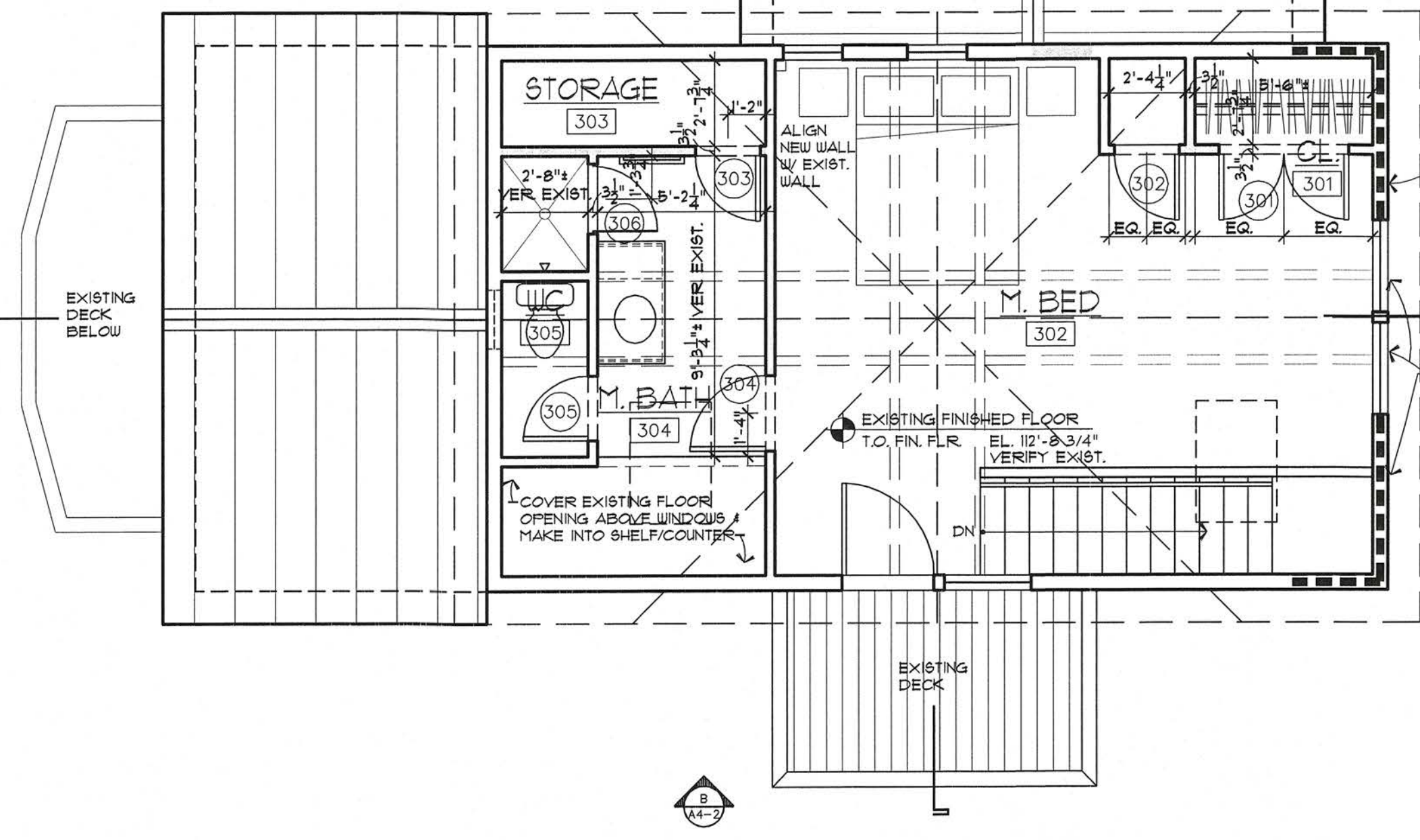
LEVEL TWO PROPOSED PLAN
SCALE: 1/4" = 1'-0"

EXISTING WALL IS APPROX. 1 1/2" OFF ASSUMED PROP. LINE - WALL WILL BE RE-BUILT WITH A 1-HR. FIRE RATING IN LOCATIONS AS REQ'D.

EXISTING WINDOWS TO BE RELOCATED IN WALL WHICH IS 1 1/2" OFF ASSUMED PROP. LINE - GLAZING / OPENING WILL BE PROTECTED WITH AN APPROVED WATER CURTAIN AND AUTO FIRE SPRINKLERS.

1 hr water window

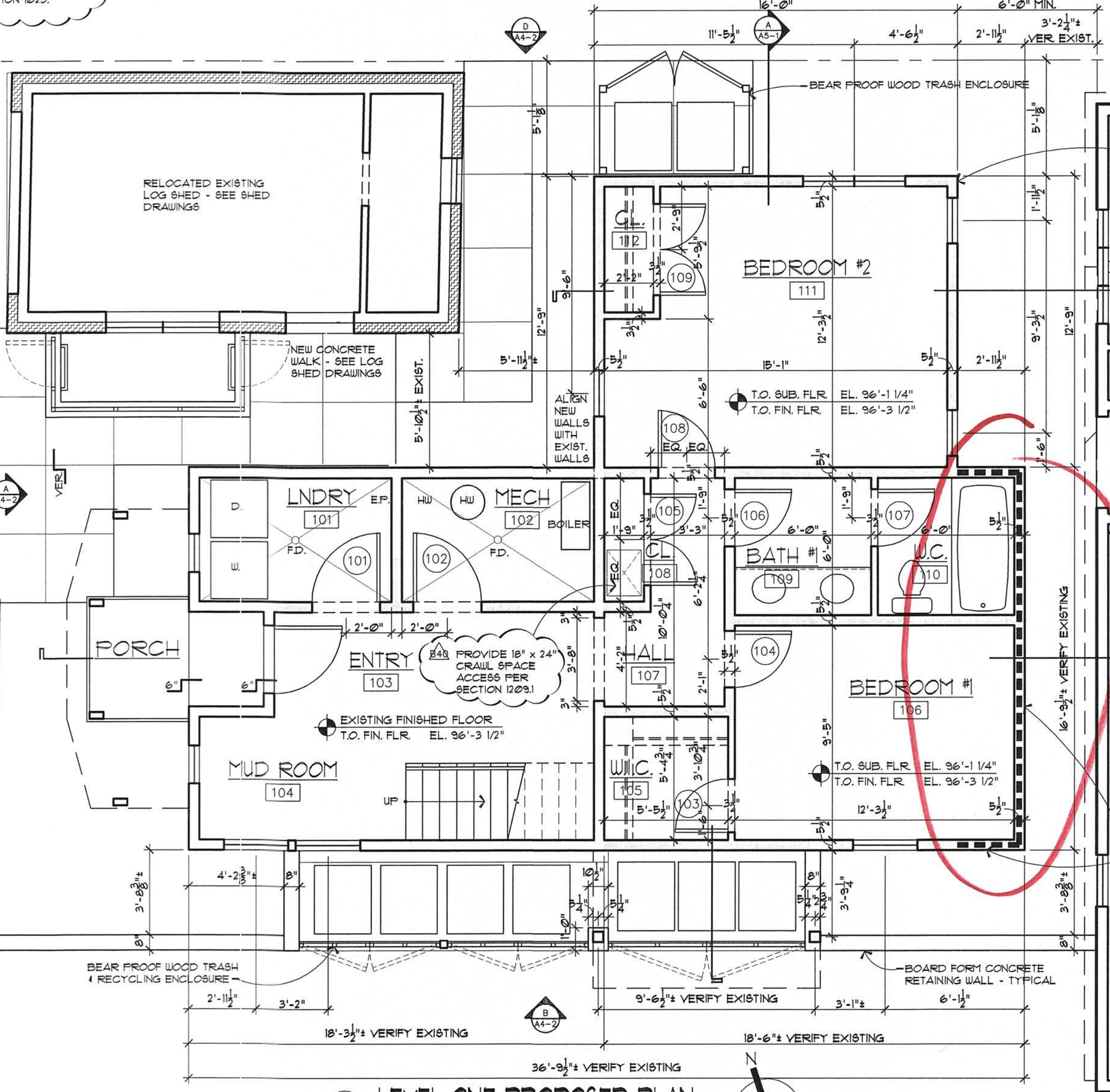
no eaves east side



LEVEL THREE PROPOSED PLAN
SCALE: 1/4" = 1'-0"

EXISTING WALL IS APPROX. 1 1/2" OFF ASSUMED PROP. LINE - WALL WILL BE RE-BUILT WITH A 1-HR. FIRE RATING IN LOCATIONS AS REQ'D.

EXISTING WINDOWS TO REMAIN IN WALL WHICH IS 1 1/2" OFF ASSUMED PROP. LINE - GLAZING / OPENING WILL BE PROTECTED WITH AN APPROVED WATER CURTAIN AND AUTO FIRE SPRINKLERS.



LEVEL ONE PROPOSED PLAN
SCALE: 1/4" = 1'-0"

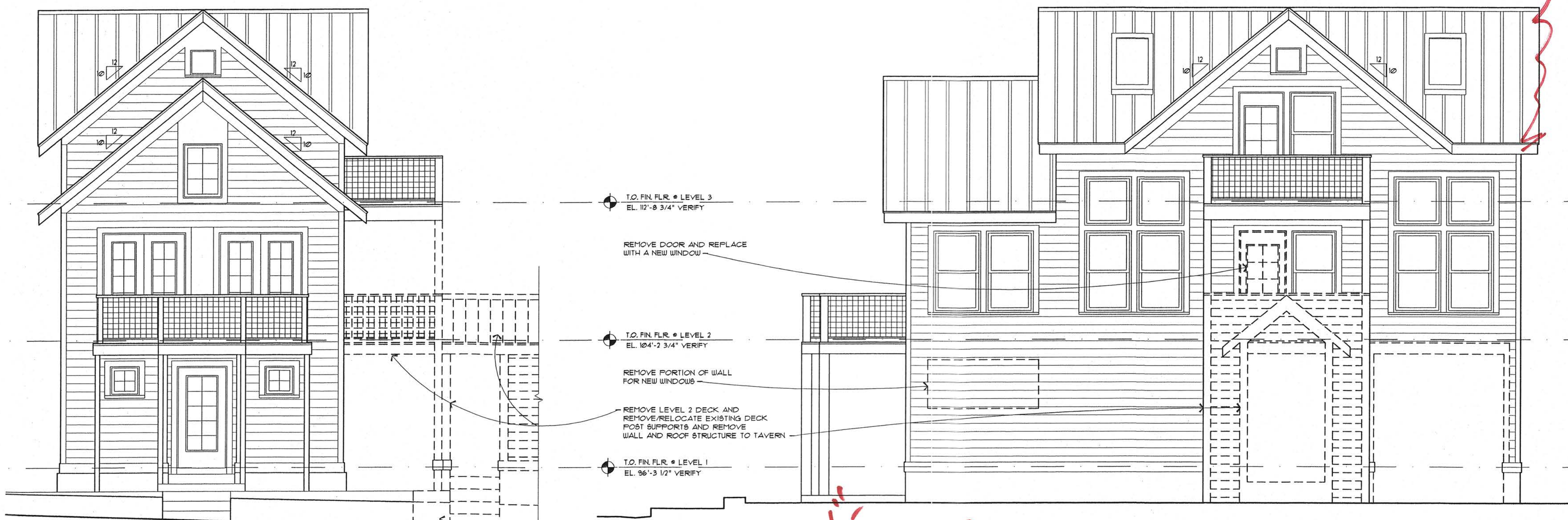
PROJECT DESIGN BY ONE ARCHITECTS, INC.

BUILDING ELEVATION
BUILDING EL. 1020'-0" = SITE EL. 8,149'-8 1/2" VERIFY EXISTING BLDG. ELEVATIONS

NOTES:
ALL WALLS AND FLOORS TO HAVE SOUND BATTS.

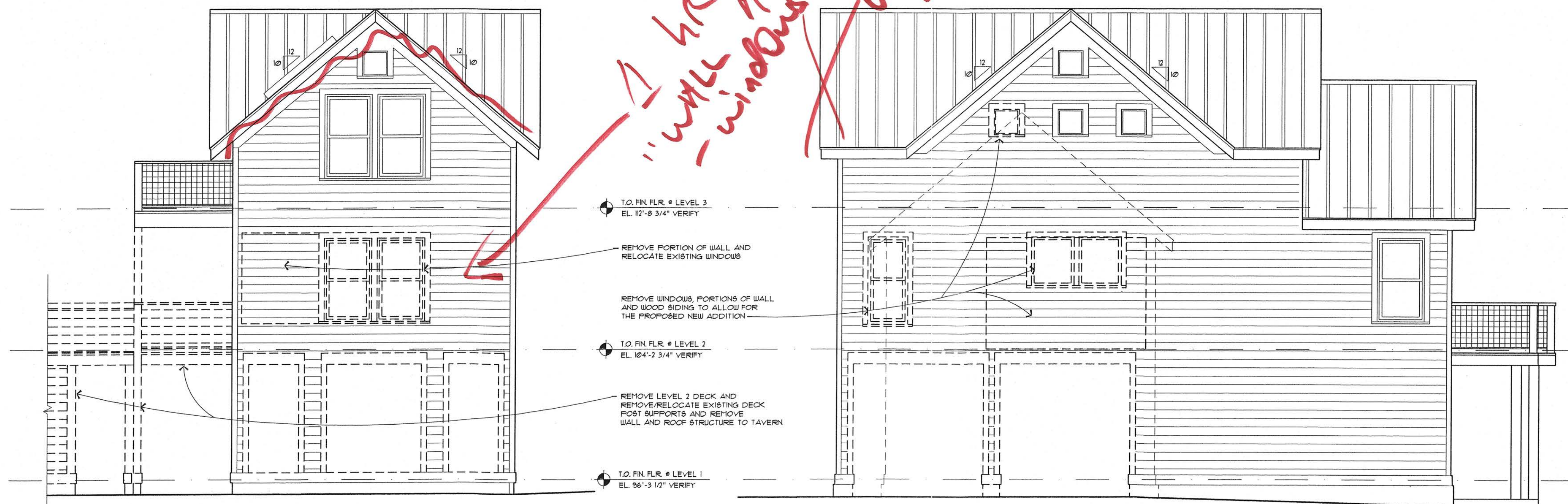
EXISTING 4 NEW WALL IS APPROX. 1 1/2" OFF ASSUMED PROP. LINE - WALL WILL BE RE-BUILT WITH A 1-HR. FIRE RATING IN LOCATIONS AS REQ'D.

1 hr water window



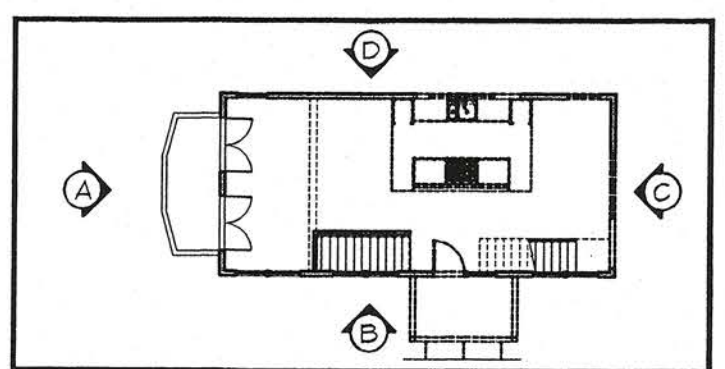
A
 EXISTING/DEMO WEST ELEVATION
 SCALE: 1/4" = 1'-0"

B
 EXISTING/DEMO SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



C
 EXISTING/DEMO EAST ELEVATION
 SCALE: 1/4" = 1'-0"

D
 EXISTING/DEMO NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



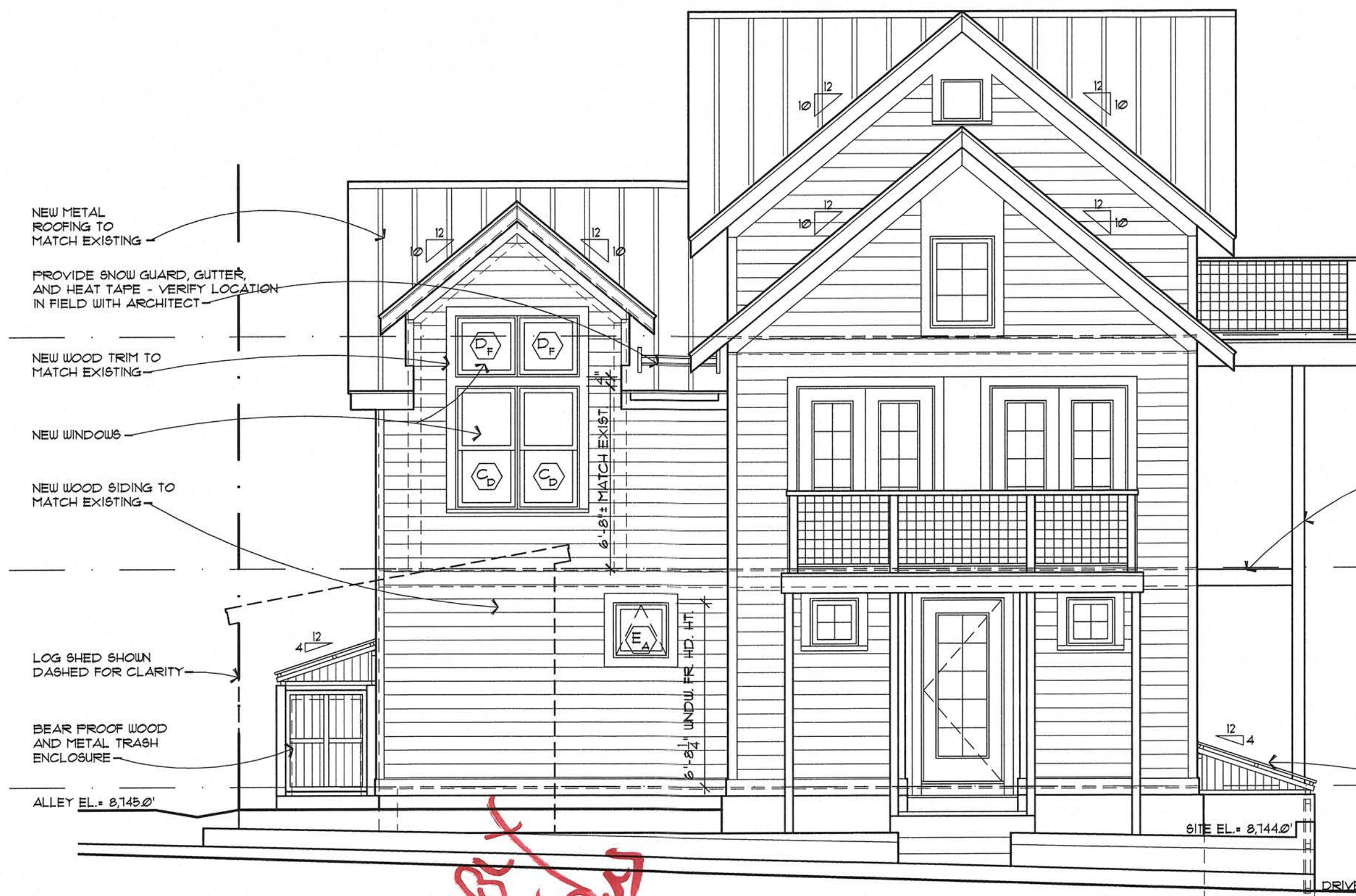
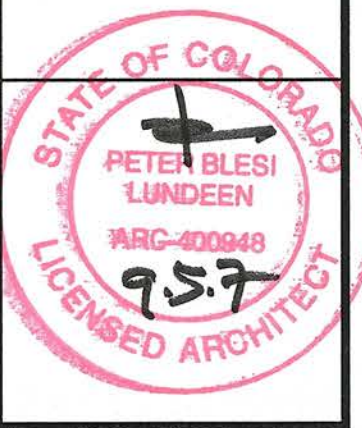
PROJECT DESIGN BY ONE ARCHITECTS, INC.

WEST PACIFIC CAMPUS
 PROJECT #0401
 573 W. Pacific Ave.
 UNIT 2
 Town of Telluride
 Colorado, 81435

CONSTRUCTION / PERMIT REVIEW SET
 MAY 1, 2007

Post Office Box 3201
 164th Society Drive
 Telluride, Colorado 81435
 phone/fax: 970.728.0841
 peter@smartlivingdesigns.com

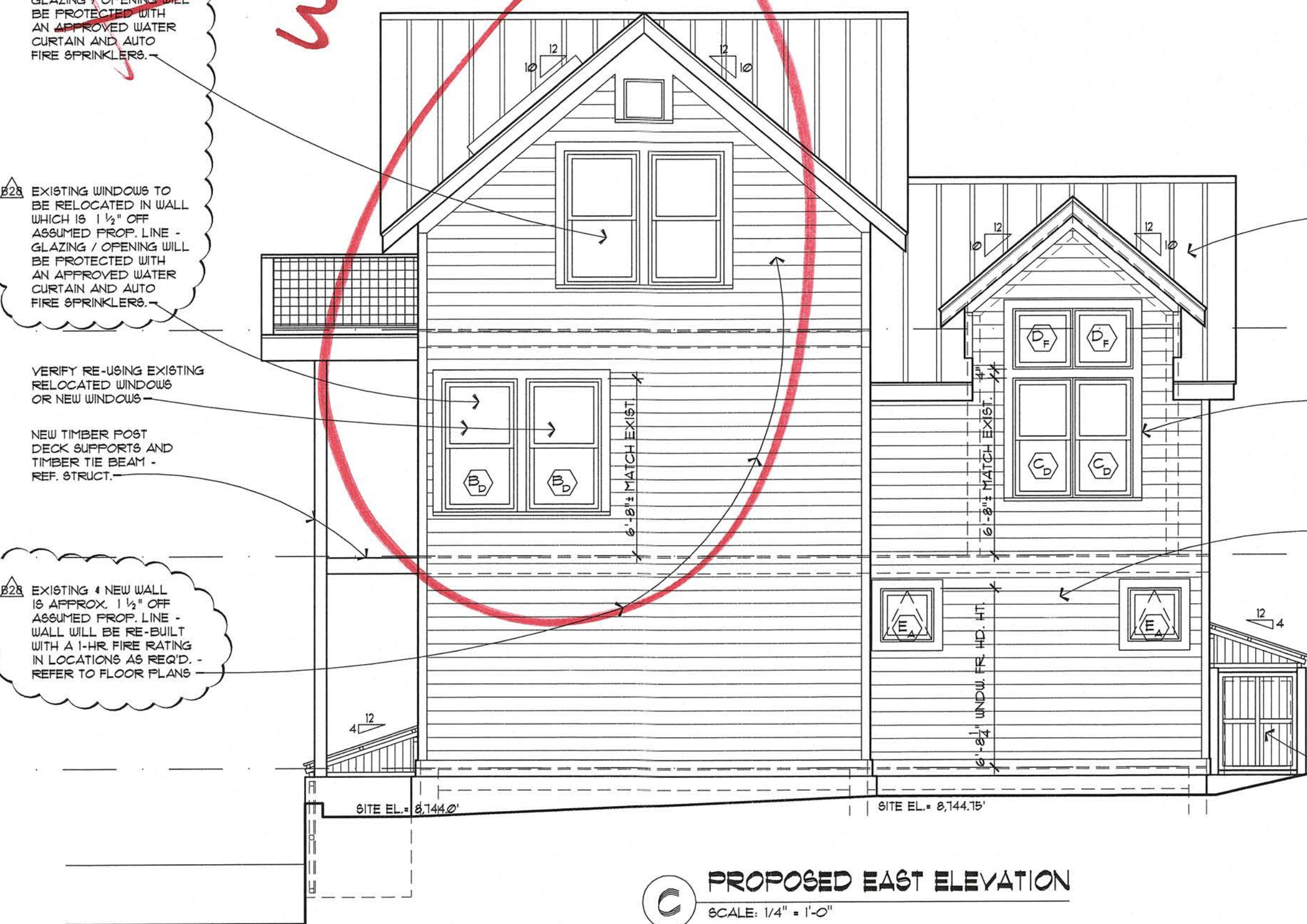
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PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

CODE GENERAL GUARDRAIL NOTE: MIN. 36" HIGH WITH INTERMEDIATES SPACED SO THAT A 4" SPHERE CANNOT PASS PER SECTION 1012 OF THE IBC (R-3 ONLY) 42" HEIGHT FOR ALL OTHER AREAS.

IN AREAS OUTSIDE OF THE RESIDENTIAL UNITS AND IN THE GARAGE, THE STAIRS MUST HAVE A MIN. RISE OF 4" AND A MAX. RISE OF 1", A MIN. TREAD OF 11" AND A VARIANCE NOT TO EXCEED 3/8".



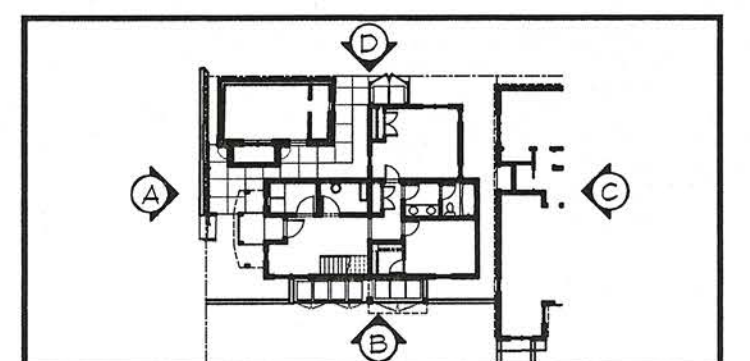
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

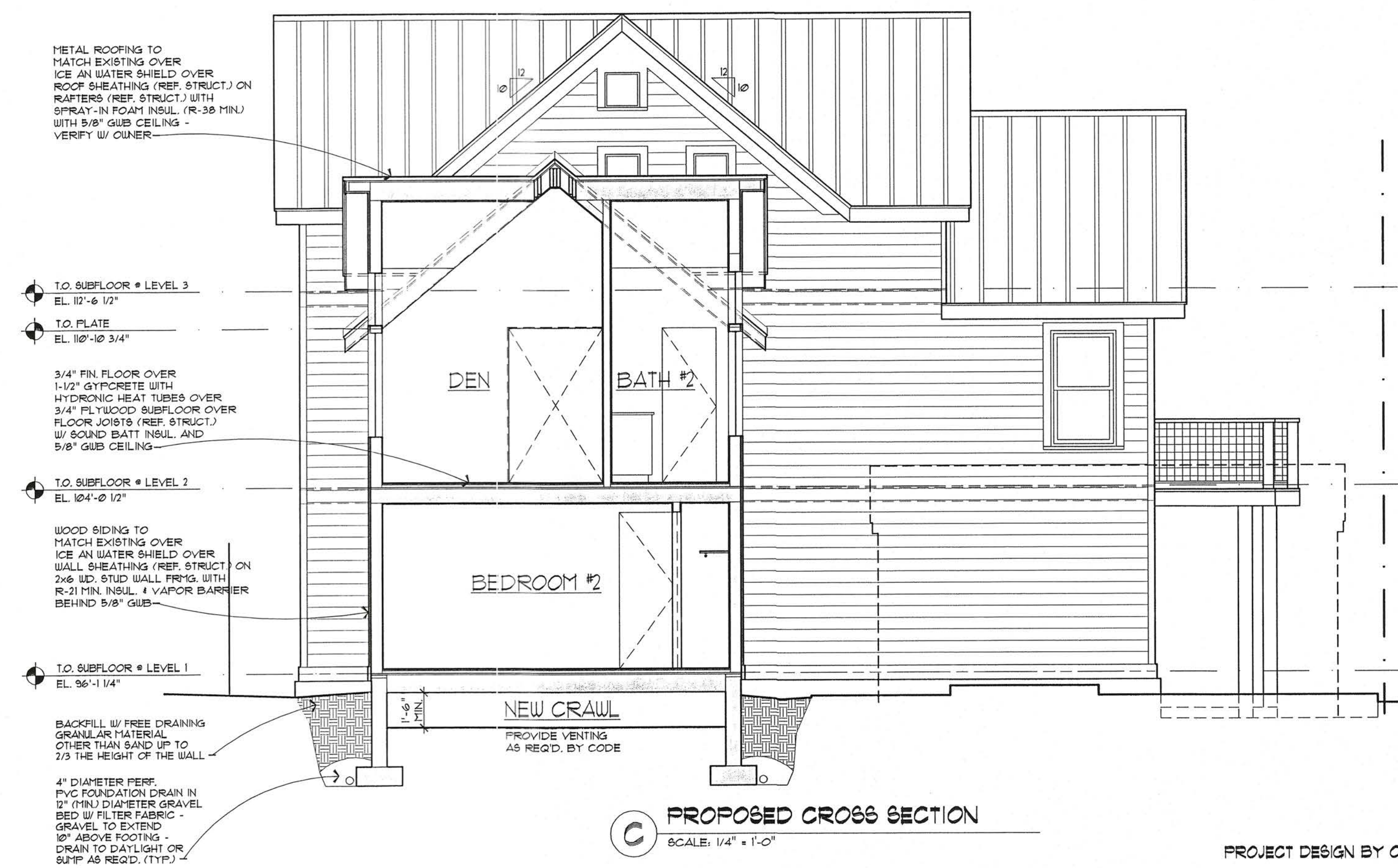
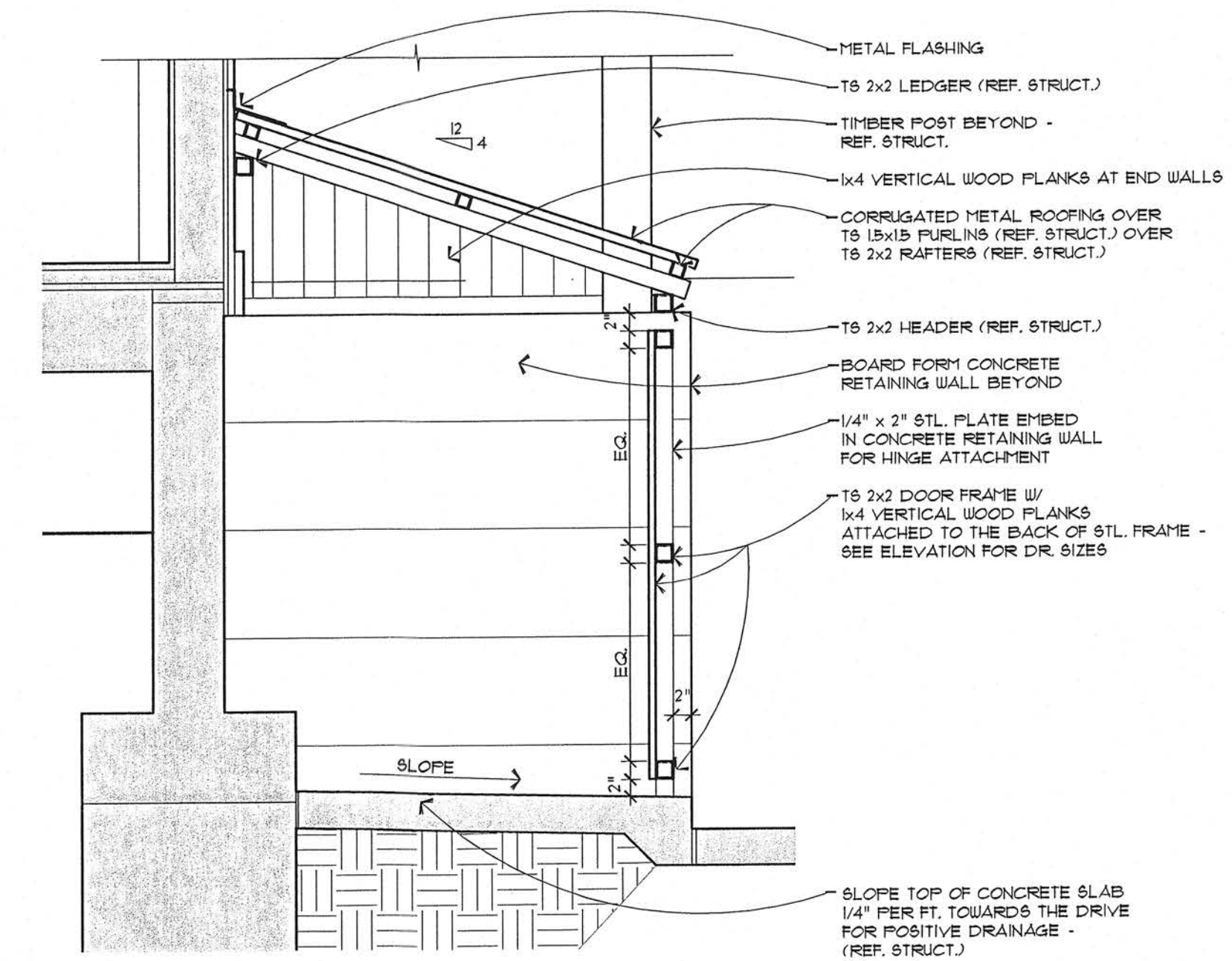
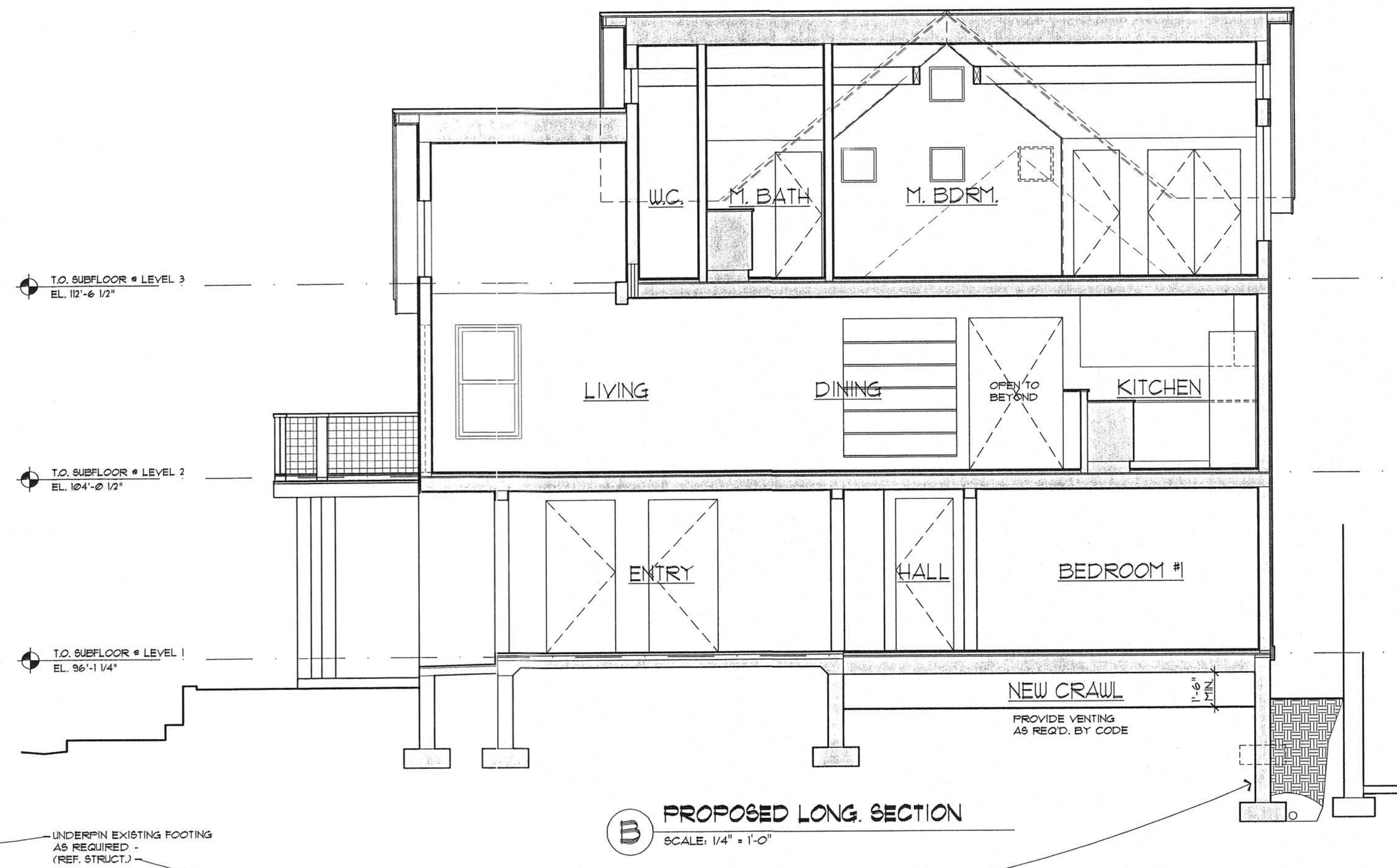
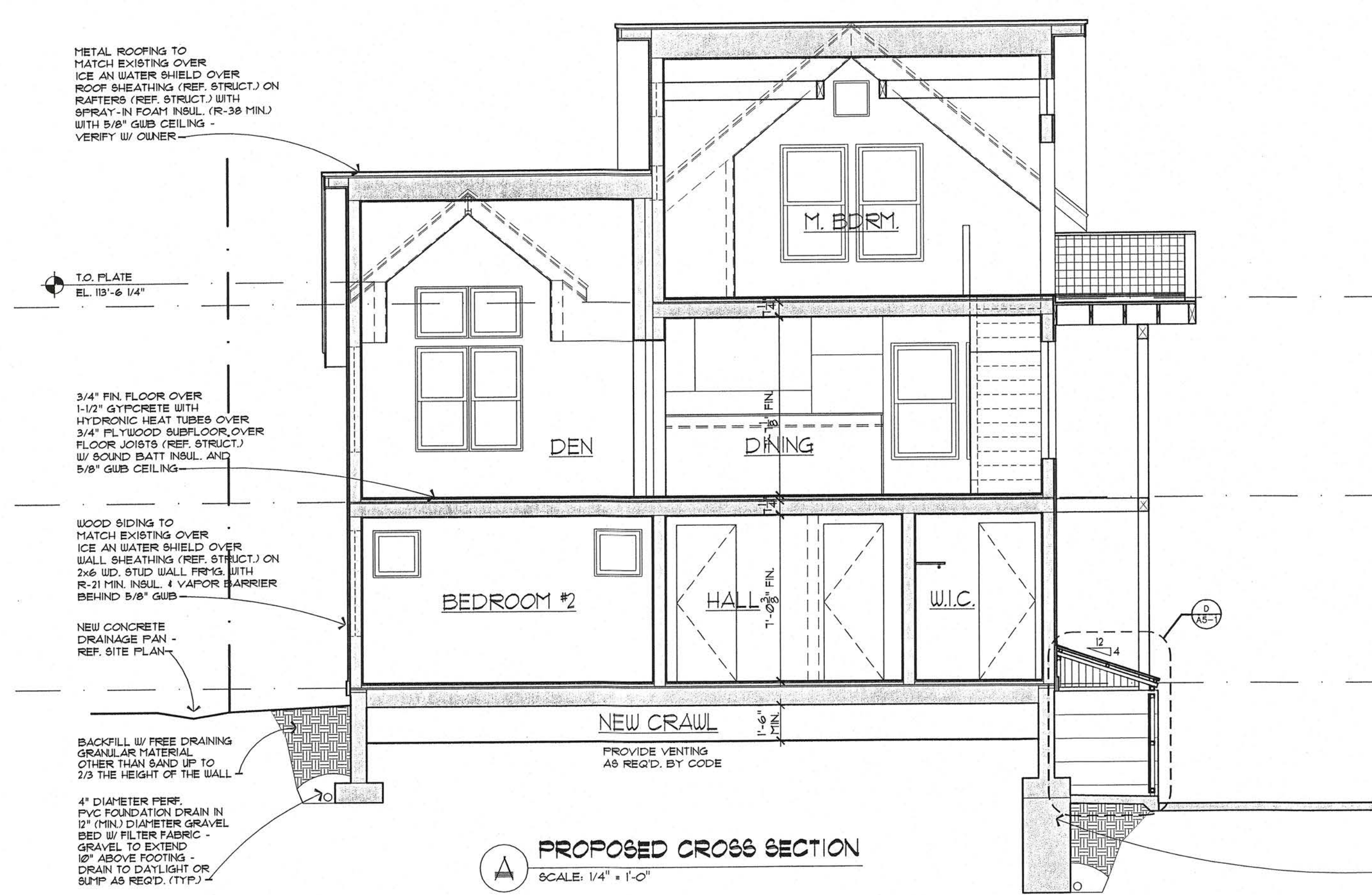
PROJECT DESIGN BY ONE ARCHITECTS, INC.

GENERAL ELEVATION NOTES

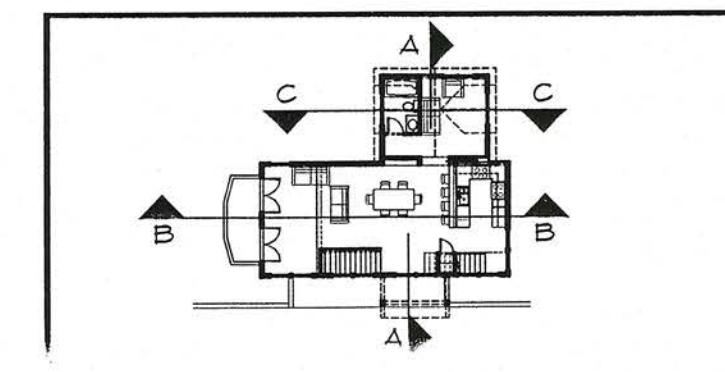
1. TOP OF DOOR AND WINDOW FRAME HEIGHTS (NOTED AS DR. FR. HD. HT. OR WINDOW FR. HD. HT.) ARE GIVEN FROM T.O. CONCRETE SLAB OR T.O. SUBFLOOR TYPICAL. PRAYER TO VERIFY RO'S AND HEADER HEIGHTS W/ G.C., WINDOW MANUFACTURER AND ARCHITECT.
2. CONTRACTOR TO VERIFY SIDING LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.

WPC - 573 W. PACIFIC UNIT 2						
WINDOW SCHEDULE						
WINDOW MARK	WIDTH	HEIGHT	TYPE	MANUFACT.	CATALOG #	REMARKS
A*	2'-1 1/2"	2'-6"	FIXED	TBD	-	LOWE
B*	2'-1 1/2"	5'-0"	DOUBLE HUNG	"	-	"
C*	2'-3"	4'-6"	DOUBLE HUNG	"	-	"
D*	2'-3"	2'-3"	FIXED	"	-	"
E*	2'-0"	2'-0"	AWNING	"	-	"
NOTES:						
1. REFER TO NOTES ON PLANS AND ELEVATIONS FOR FURTHER CLARIFICATIONS.						
2. VERIFY WINDOW COLOR, CLADDING AND INTERIOR FINISH WITH OWNER. MATCH EXISTING.						
3. CONTRACTOR TO VERIFY ALL ROUGH OPENING DIMENSIONS AND TEMPERED GLAZING REQUIREMENTS.						
4. REFER TO ELEVATIONS FOR CASEMENT HANDING.						





GENERAL GUARDRAIL NOTE:
MIN. 36" HIGH WITH INTERMEDIATES
SPACED SO THAT A 4" SPHERE
CANNOT PASS PER SECTION 102
OF THE IBC. (R-3 ONLY)
42" HEIGHT FOR ALL OTHER AREAS.



WEST PACIFIC
CAMPUS
PROJECT #0608
575 W. PACIFIC AVE.
UNIT 2
TELLURIDE, CO 81435
CONSTRUCTION /
PERMIT REVIEW SET
JUNE 28, 2007

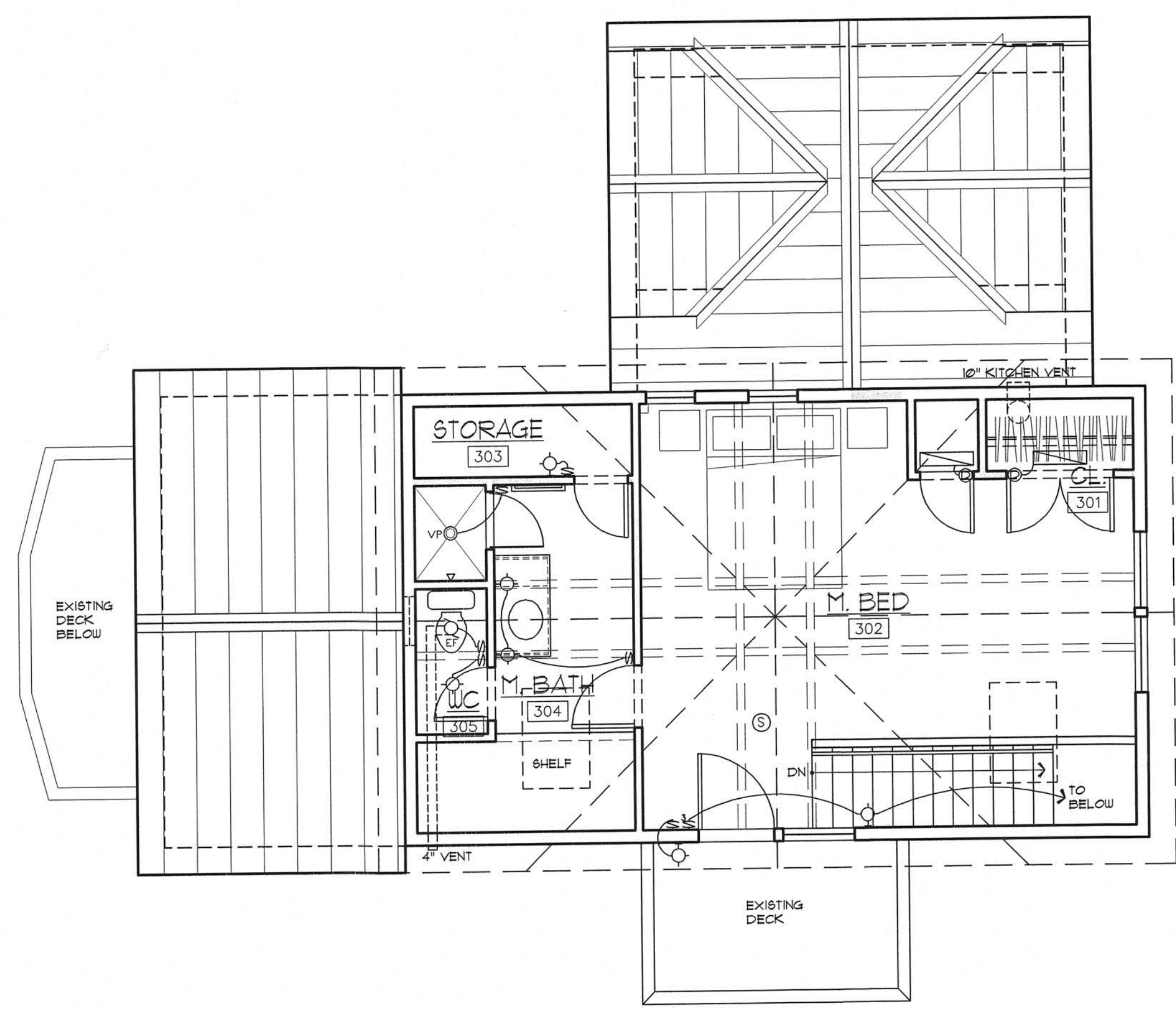
HOUSE PROPOSED
BLDG. SECTIONS

ELEC. SYMBOLS LEGEND

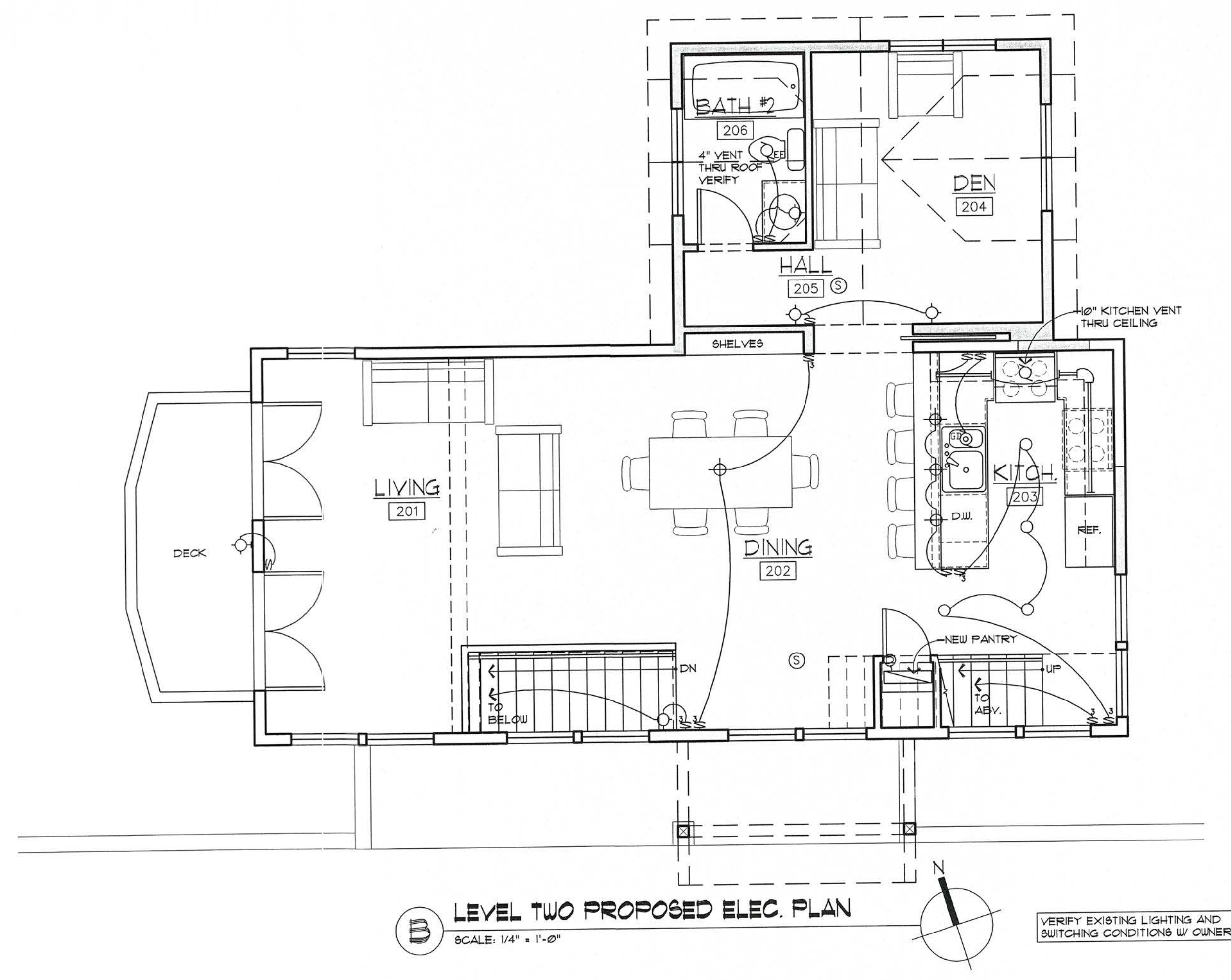
⊕	110V. DUPLEX RECEPTACLE
⊕ ₁	110V. DUPLEX RECEPTACLE VER. HT. ABOVE COUNTER
⊕ ₂	110V. DUPLEX RECEPTACLE GROUND FAULT INTERRUPT
⊕ ₃	SINGLE POLE SWITCH
⊕ ₄	THREE WAY SINGLE POLE SWITCH
⊕ ₅	FOUR WAY SINGLE POLE SWITCH
⊕ ₆	SWITCH + DOOR
⊕ ₇	MOTION SENSOR SWITCH
⊕ ₈	TELEPHONE OUTLET
○	RECESSED DOWNLIGHT
○ _{VP}	RECESSED DOWNLIGHT - VAPOR PROOF
⊙	FIXTURE - CEILING MOUNTED
⊙ _W	FIXTURE - WALL MOUNTED (VERIFY HEIGHT - TYPICAL)
⊙ _{CLG}	FIXTURE - CLG. MTD. PENDANT
⊙ _{SD}	SMOKE DETECTOR (ALL SHALL BE INTERCONNECTED)
⊙ _{EF}	EXHAUST FAN
⊙ _{GD}	GARBAGE DISPOSAL
—	UNDER CAB STRIP LIGHTING
⊕	ELECTRIC METER
⊕ _{MP}	MAIN ELECTRICAL PANEL

ELECTRICAL NOTES:

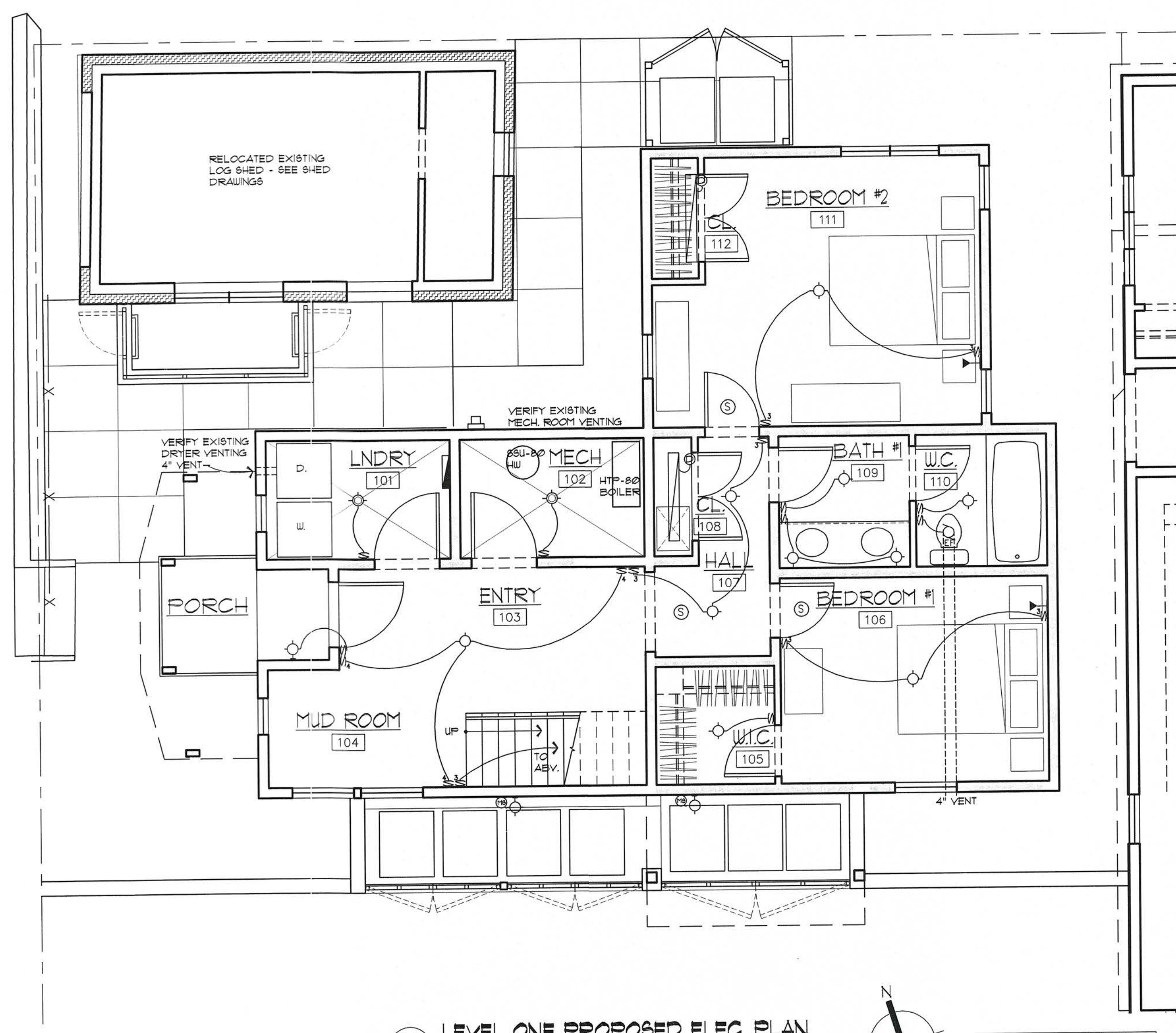
- PRIOR TO ANY WORK BEING PERFORMED UNDER THIS DIVISION CONTRACTOR TO EXAMINE ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND IF ANY DISCREPANCIES OCCUR BETWEEN THEM AND THE ELECTRICAL DRAWINGS REPORT TO ARCHITECT TO OBTAIN DIRECTION.
- CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS + MECHANICAL ROOMS WITH EQUIPMENT SPECIFICATIONS.
- NOT USED.
- FIRE STOP SHALL BE APPLIED AT ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH EQUIVALENT RATED METHODS.
- CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR A LIGHT CONTROL SYSTEM, LITETOUCH OR SIMILAR, VERIFY EXTENT OF LIGHTING CONTROL SYSTEM WITH OWNER.
- PROVIDE 3 PHONE LINES
- ELECTRICAL CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL ELECTRICAL SWITCHES, OUTLETS AND FIXTURES WITH OWNER AND CONTRACTOR.
- ELECTRICAL CONTRACTOR TO PROVIDE OUTLETS AT ALL LOCATIONS TO STANDARDS SET FORTH AND WITHIN COMPLETE ACCORDANCE WITH ALL CODES, REGULATIONS AND REQUIREMENTS OF ALL GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE WORK INCLUDING LOCAL UTILITIES AND IN ACCORDANCE WITH THE FIRE UNDERWRITERS REQUIREMENTS, FIELD VERIFY LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL INSTALL SMOKE DETECTORS AS REQUIRED BY CODE + COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL SMOKE DETECTORS WITH OWNER.
- CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL LOW VOLTAGE WITH OWNER.
- TYPICAL SWITCH HEIGHT AT 42" AFF. (UNO.)
TYPICAL SWITCH HEIGHT AT 36" AFF AT BED LOCATIONS (UNO.)
- CENTER HORIZONTAL OUTLETS IN BASE. ELECTRICAL CONTRACTOR TO VERIFY HEIGHT ABOVE SUBFLOOR WITH GENERAL CONTRACTOR.



LEVEL THREE PROPOSED ELEC. PLAN
SCALE: 1/4" = 1'-0"
VERIFY EXISTING LIGHTING AND SWITCHING CONDITIONS W/ OWNER



LEVEL TWO PROPOSED ELEC. PLAN
SCALE: 1/4" = 1'-0"
VERIFY EXISTING LIGHTING AND SWITCHING CONDITIONS W/ OWNER



LEVEL ONE PROPOSED ELEC. PLAN
SCALE: 1/4" = 1'-0"
VERIFY EXISTING LIGHTING AND SWITCHING CONDITIONS W/ OWNER

PROJECT DESIGN BY ONE ARCHITECTS, INC.

GENERAL NOTES

1. ALL REQUIRED WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE 'CONTRACTOR' INCLUDE THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS; THEY SHALL BE ONE AND THE SAME.
2. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS, & THE CERTIFICATE OF OCCUPANCY.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CONFORMANCE OF ALL WORK TO ANY AND ALL APPLICABLE BUILDING CODES (INCLUDING PLUMBING AND ELECTRICAL). ANY DISCREPANCIES OR NONCONFORMING ITEMS FOUND IN THE DRAWINGS MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
4. IMMEDIATELY FOLLOWING THE AWARDING OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE. ANY AND ALL CHANGES OR SUBMITTALS AFFECTING CONSTRUCTION COST OR SCHEDULE SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. ANY DISCREPANCIES OR NONCONFORMING ITEMS FOUND IN THE DRAWINGS MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. THE CONTRACTOR SHALL COORDINATE ALL WORK PERFORMED BY THE VARIOUS SUB-CONTRACTORS, AND SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, WALLS AND CEILINGS WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT, THE PROTECTION OF NEIGHBORING PROPERTIES, AND THE COMPLIANCE TO ALL OSHA REQUIREMENTS.
7. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS. THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOBSITE.
8. THE DRAWINGS SHOULD NOT BE SCALED. IF A DIMENSION CAN'T BE DETERMINED THE CONTRACTOR SHALL PROMPTLY CONTACT THE ARCHITECT FOR VERIFICATION. WHEN DRAWINGS HAVE BEEN REVISED, NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT INSTALLATION METHODS CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE MATERIALS SPECIFIED ARE INTENDED TO MEET CODE REQUIREMENTS; ANY DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND CODE REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BY THE CONTRACTOR, PRIOR TO PROCEEDING WITH THE SPECIFIED WORK.
10. ELECTRICAL SERVICE, WIRING, ETC. SHALL COMPLY WITH APPLICABLE ELECTRICAL CODES.
11. PLUMBING SHALL COMPLY WITH APPLICABLE PLUMBING CODES.
12. ALL MATERIALS PROVIDED SHALL CONFORM TO ALL LOCAL, CITY AND/OR COUNTY FIRE REGULATIONS, CERTIFICATES, OR APPROVED FIRE RETARDANT PROCESSING FLAME SPREAD RATINGS, ETC. SHALL BE OBTAINED WITHOUT SPECIFIC REQUEST AND SUBMITTED TO THE ARCHITECT.
13. THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY; WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. WHEN A CONFLICT OCCURS, THE SPECIFICATIONS SHALL HAVE PRECEDENCE.
14. NO SUBSTITUTIONS OF SPECIFIED MATERIALS SHALL BE PERMITTED WITHOUT FIRST SUBMITTING SPECIFICATIONS, SAMPLES, AND COST IMPACT FOR ARCHITECT'S APPROVAL.
15. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES ON THE PROJECT. ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
16. AT THE TIME OF BID SUBMITTAL, THE CONTRACTOR SHALL ADVISE THE ARCHITECT (IN WRITING) OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE, OUT OF THE BUDGET OR WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE.
17. THE CONTRACTOR SHALL PROVIDE AND INSTALL ROUGH PLUMBING AND FINAL HOOK-UP FOR ALL SPECIFIED FIXTURES AND APPLIANCES, AND SHALL SUPPLY ALL SUCH FIXTURES AND APPLIANCES, UNLESS OTHERWISE NOTED.
18. CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.
19. THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL NECESSARY ACCESS PANELS (IN PARTITIONS, FLOORS, OR CEILINGS) AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED FLUSH WITH THE SURFACE IN WHICH THEY ARE INSTALLED WITH NO EXPOSED TRIM.
20. THE CONTRACTOR SHALL SUPPLY AND INSTALL BLOCKING AND SUPPORTS IN PARTITIONS AND CEILINGS AS REQUIRED FOR INSTALLATION OF SPECIFIED EQUIPMENT, ACCESSORIES, CABINETRY, FINISH MATERIALS, AND FIRE BLOCKING (SEE BELOW).
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY UTILITIES (POWER, LIGHTING, WATER) TO THE JOB SITE FOR USE BY ALL CONSTRUCTION TRADES INCLUDING THOSE NOT A SUBCONTRACTOR TO THE GENERAL CONTRACTOR. CONTRACTOR TO USE WIND-POWER ELECTRICAL ENERGY FOR TEMP. POWER.
22. CONTRACTOR SHALL PROVIDE A FLOOR DRAIN IN A UTILITY AREA FOR DRAINAGE OF CONDENSATE AND/OR OVERFLOW FROM ALL MECHANICAL EQUIPMENT INCLUDING THE HOT WATER HEATER.
23. FOR WALLS SEPARATING GARAGE AND LIVING SPACE, PROVIDE (1) LAYER 5/8" TYPE 'X' GWS ON EACH SIDE OF STUDS, FOR CEILINGS/FLOORS SEPARATING GARAGE AND LIVING SPACE, PROVIDE (2) LAYERS 5/8" TYPE 'X' GWS AT CEILING.
24. CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL MATERIAL TAKE-OFFS DONE BY SUB-CONTRACTORS.

ALL FIRE BLOCKING AND DRAFT STOPPING TO CONFORM WITH SECTION 1112 OF THE IBC.

GENERAL HANDRAIL NOTE: HANDRAILS MUST RUN FULL LENGTH OF STAIRS LOCATED 34" TO 38" ABOVE STAIR NOSING, BE 1-1/4" TO 2" IN DIAMETER AND BE LOCATED 1-1/2" AWAY FROM THE WALL PER SECTION 1009.11.

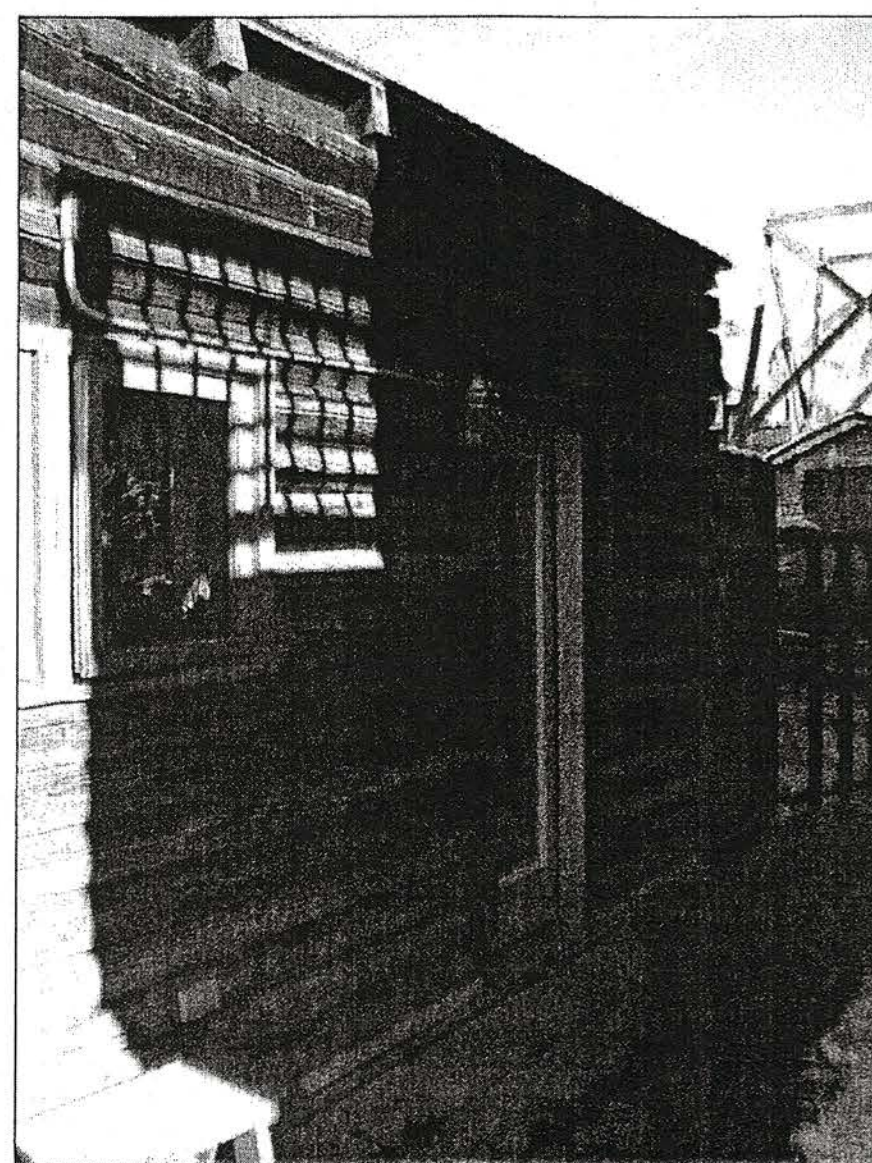
THE MAXIMUM THRESHOLD HEIGHT MEASURED AT THE DOOR TO THE LANDING ALONG AN EGRESS ROUTE SHOULD NOT EXCEED 0.50" PER SECTION 1008.16 OF THE IBC.

ALL INSULATION SHOULD BE INSTALLED IN ACCORDANCE WITH SECTION 1102.

BUILDING PAPER SHOULD BE APPLIED TO EXTERIOR WALLS AS SPECIFIED IN SECTION 1403.3.

AT ALL STAIRS PROVIDE 6'-8" MINIMUM HEADROOM CLEARANCE PER SECTION 1009.2. THIS DISTANCE IS MEASURED FROM A PLANE TANGENT TO THE STAIRWAY TREAD NOSINGS.

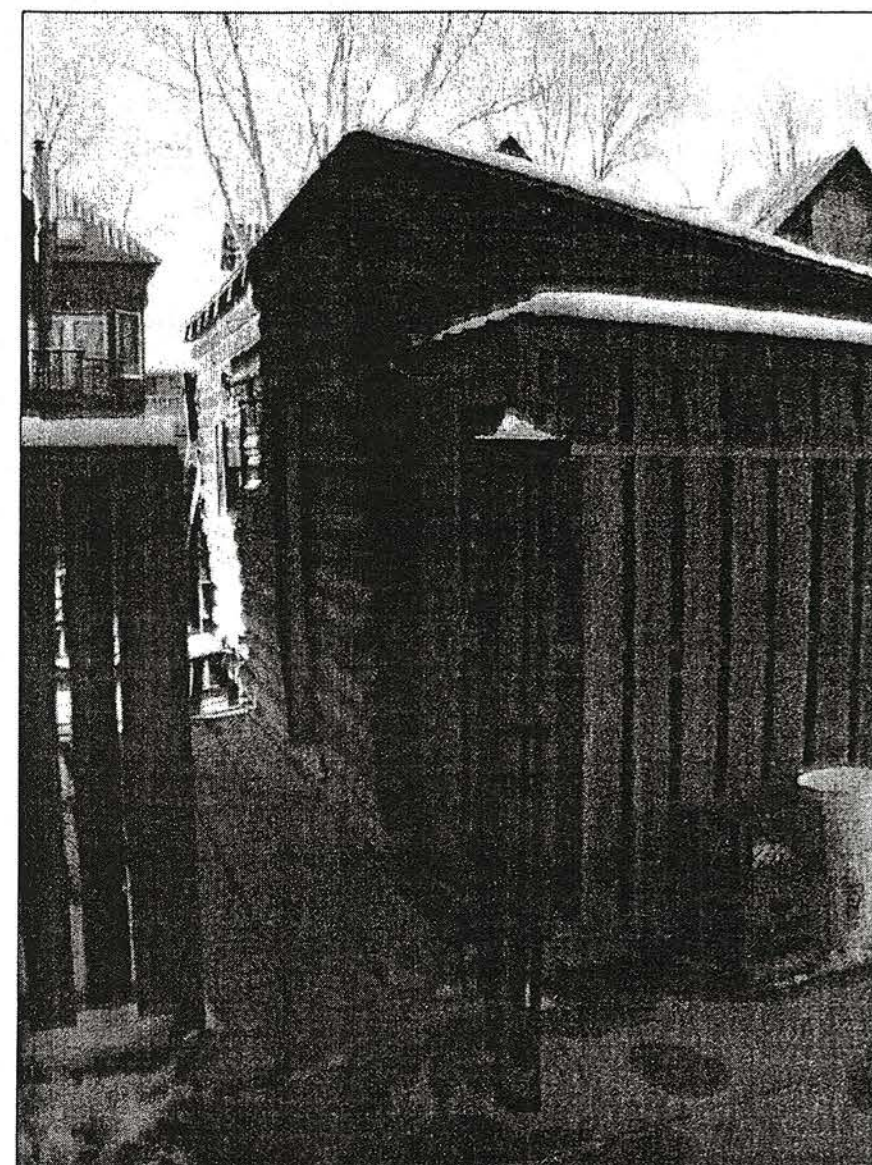
GLASS AND GLAZING SUBJECT TO HUMAN IMPACT SHOULD COMPLY WITH SECTION 2406.3.



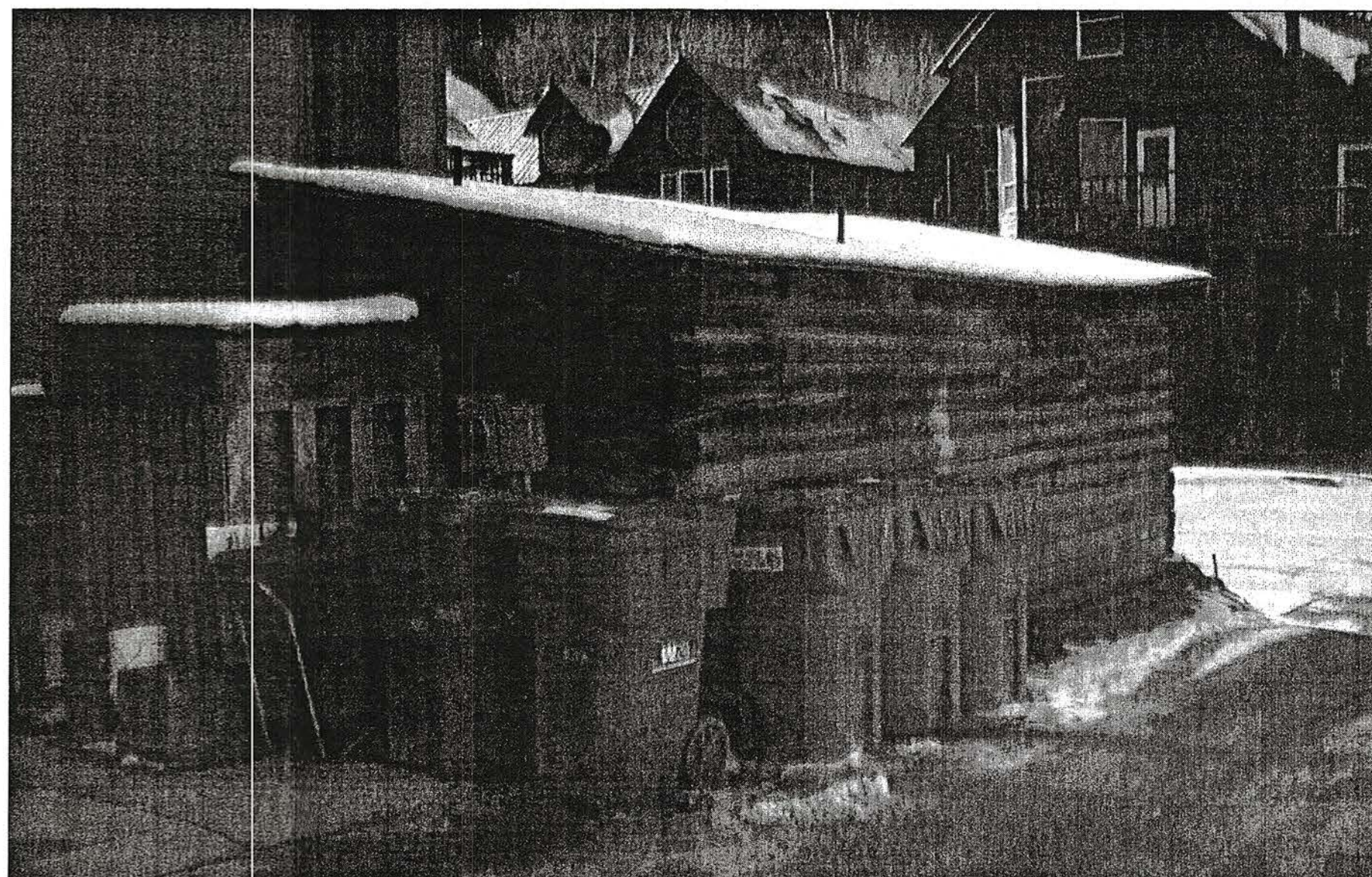
SOUTH WALL OF EXISTING, HISTORIC LOG SHED



NORTHWEST CORNER OF EXISTING, HISTORIC LOG SHED

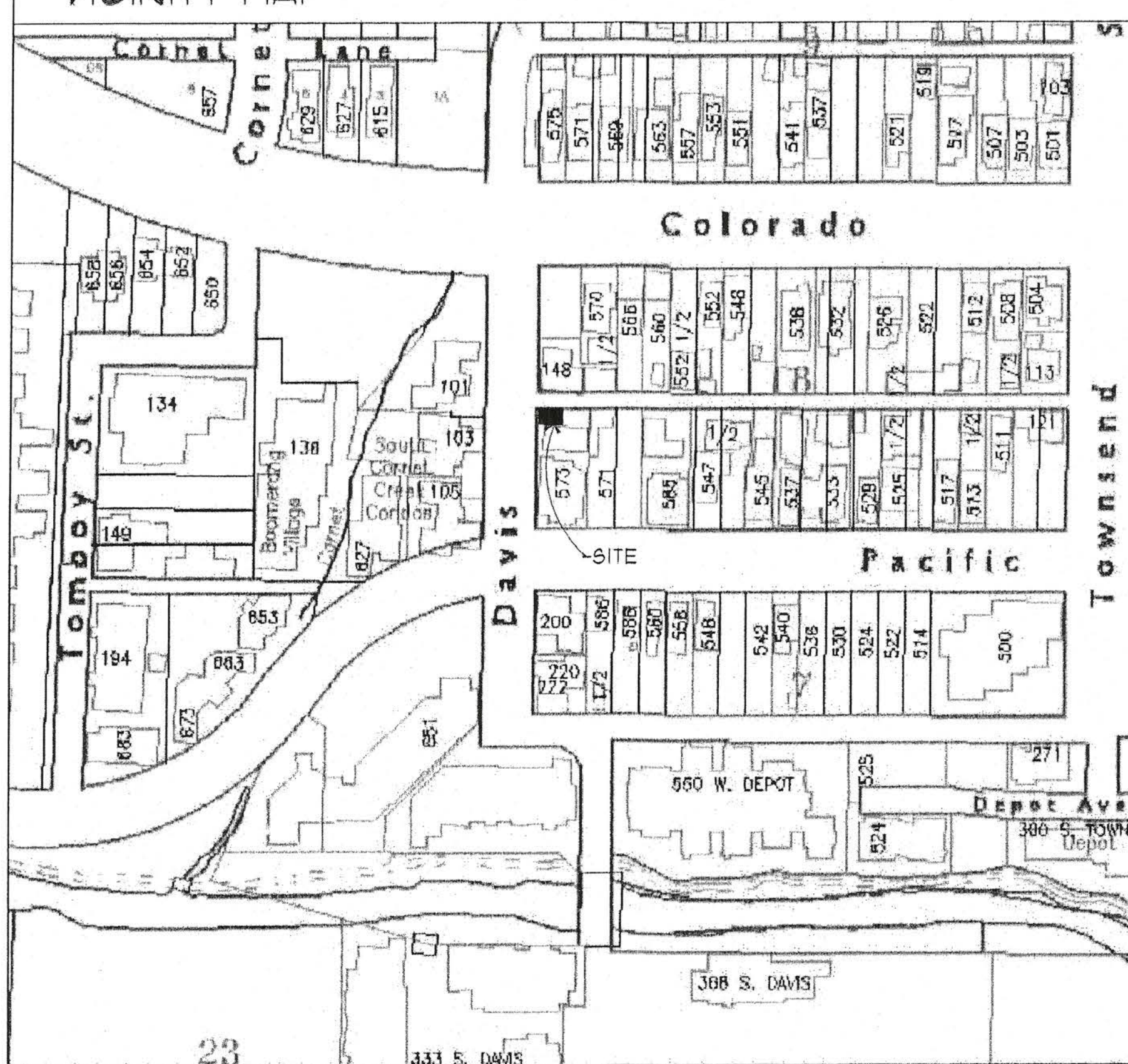


SOUTHEAST CORNER OF EXISTING, HISTORIC LOG SHED



NORTHEAST CORNER OF EXISTING, HISTORIC LOG SHED

VICINITY MAP



GRAPHIC SYMBOLS LEGEND

	DRAWING NO.		WINDOW MARK		DETAIL SHEET
	SHEET NO.		DOOR MARK		DETAIL REFERENCES OR TAGS
	INTERIOR ELEVATION TAG		REVISION AND ADD./C.O. NUMBER		DESIGN INTENT TAG
	TO SUBFLOOR EL. 100'-0"		ROOM NUMBER		LOG SIDING CUT IN PLAN/SECTION
	LOG SIDING CUT IN PLAN/SECTION		CONCRETE		MORTAR/TEXTURED BED

SHEET INDEX

A1-0	TITLE SHEET
A3-1	EXISTING, DEMO, AND PROPOSED FLOOR, ROOF AND ELECTRICAL PLANS
A4-1	EXISTING, DEMO, AND PROPOSED EXTERIOR ELEVATIONS, BUILDING SECTIONS, AND DETAILS

PROJECT INFORMATION

LEGAL DESCRIPTION:
573 W. PACIFIC AVE. UNIT 3
TELLURIDE, CO 81435

BLDG. OCCUPANCY: R-3

CONSTRUCTION TYPE:
TYPE 'V'

PHYSICAL DESCRIPTION:
HISTORIC LOG SHED AFFORDABLE HOUSING
REMODEL WITH NEW BASEMENT

SQUARE FOOTAGE:
LIVING 228 SQ. FT.
BASEMENT 228 SQ. FT.
TOTAL GROSS BUILDING 456 SQ. FT.

PROJECT TEAM

SURVEYOR

FOLEY ASSOC.
125 W. PACIFIC B-1
P.O. BOX 1385
TELLURIDE, CO 81435

(970) 728-6153
(970) 728-6050 (FAX)

SOILS ENGINEER

BUCKHORN GEOTECH
LAURIE HAUPTMANN
222 SOUTH PARK AVE.
MONTROSE, CO 81401

(970) 249-6828
(970) 249-0945 (FAX)

STRUCTURAL ENGINEER

MIKE THELE, P.E.
2226 SEVEN OAKS ROAD
CARBONDALE, CO 81435

(970) 363-3181
(970) 363-3182 (FAX)

GENERAL CONTRACTOR

THE ALLISON COMPANY
1015 W. SHERMAN, SUITE 120
P.O. BOX 438
RIDGWAY, CO 81437

(970) 626-5143
(970) 626-5010 (FAX)

PROJECT DESIGN BY ONE ARCHITECTS, INC.

WEST PACIFIC
CAMPUS
PROJECT #0401
573 W. Pacific Ave.
UNIT 3
Town of Telluride
Colorado, 81435

CONSTRUCTION /
PERMIT REVIEW SET
MAY 1, 2007

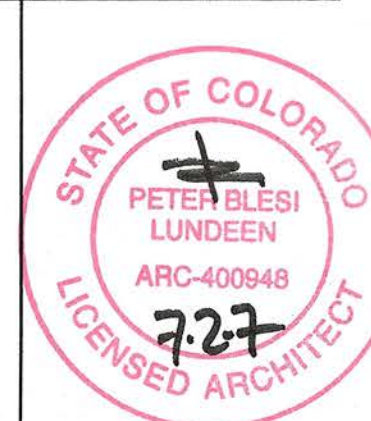
Post Office Box 3201
16411 Society Drive
Telluride, Colorado 81435
phone/fax: 970.728.0841
peter@smartlivingdesigns.com

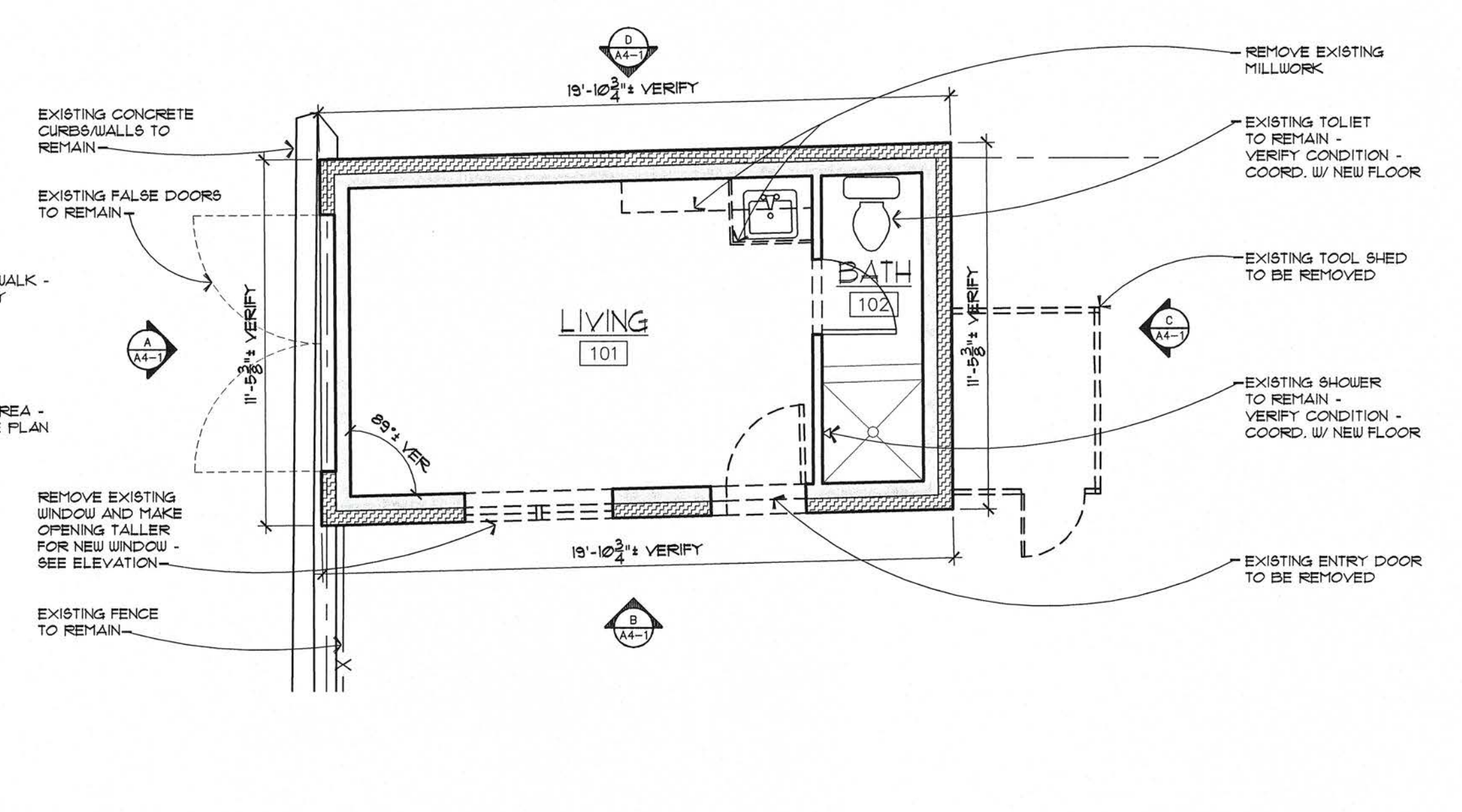
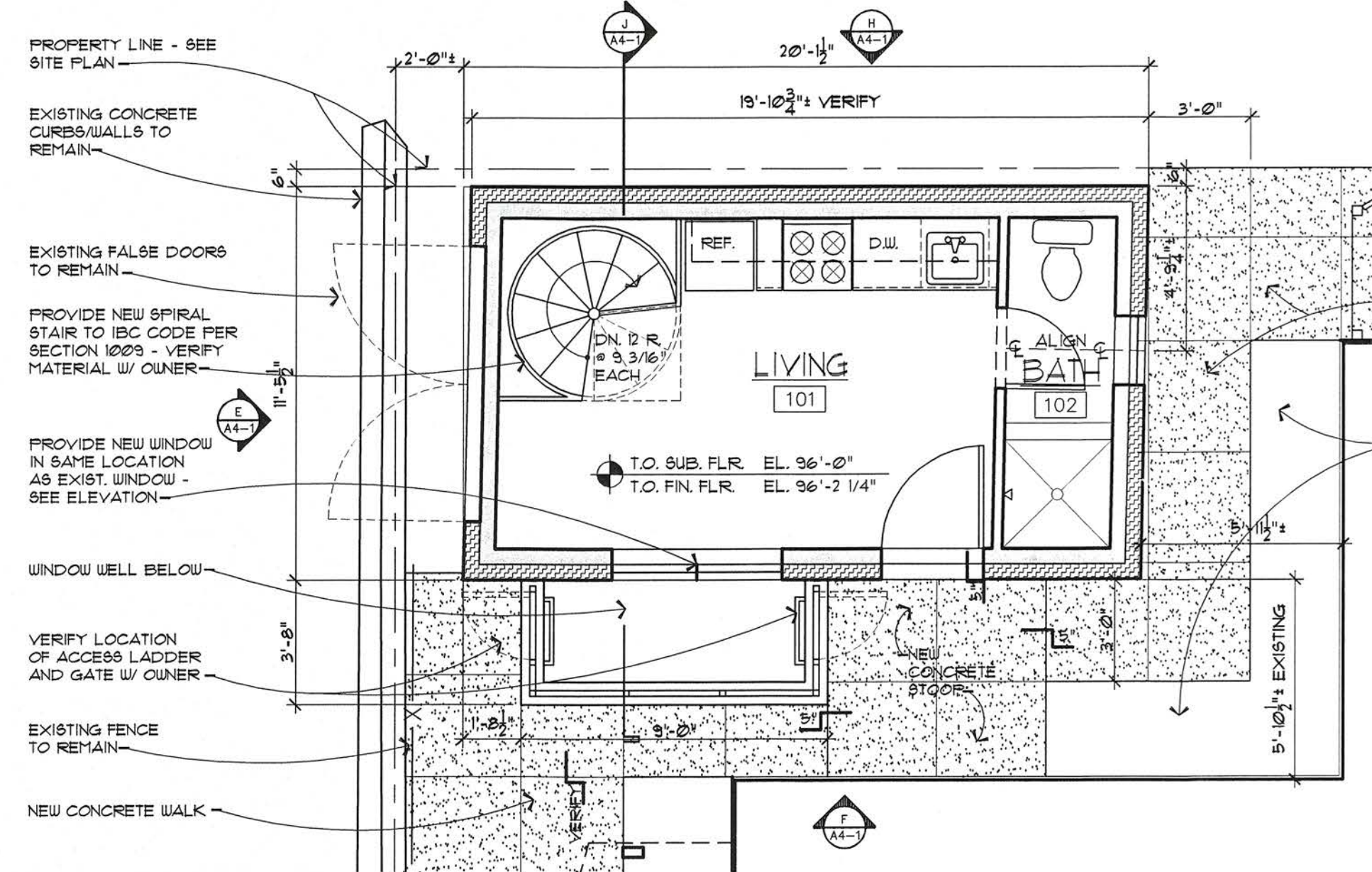
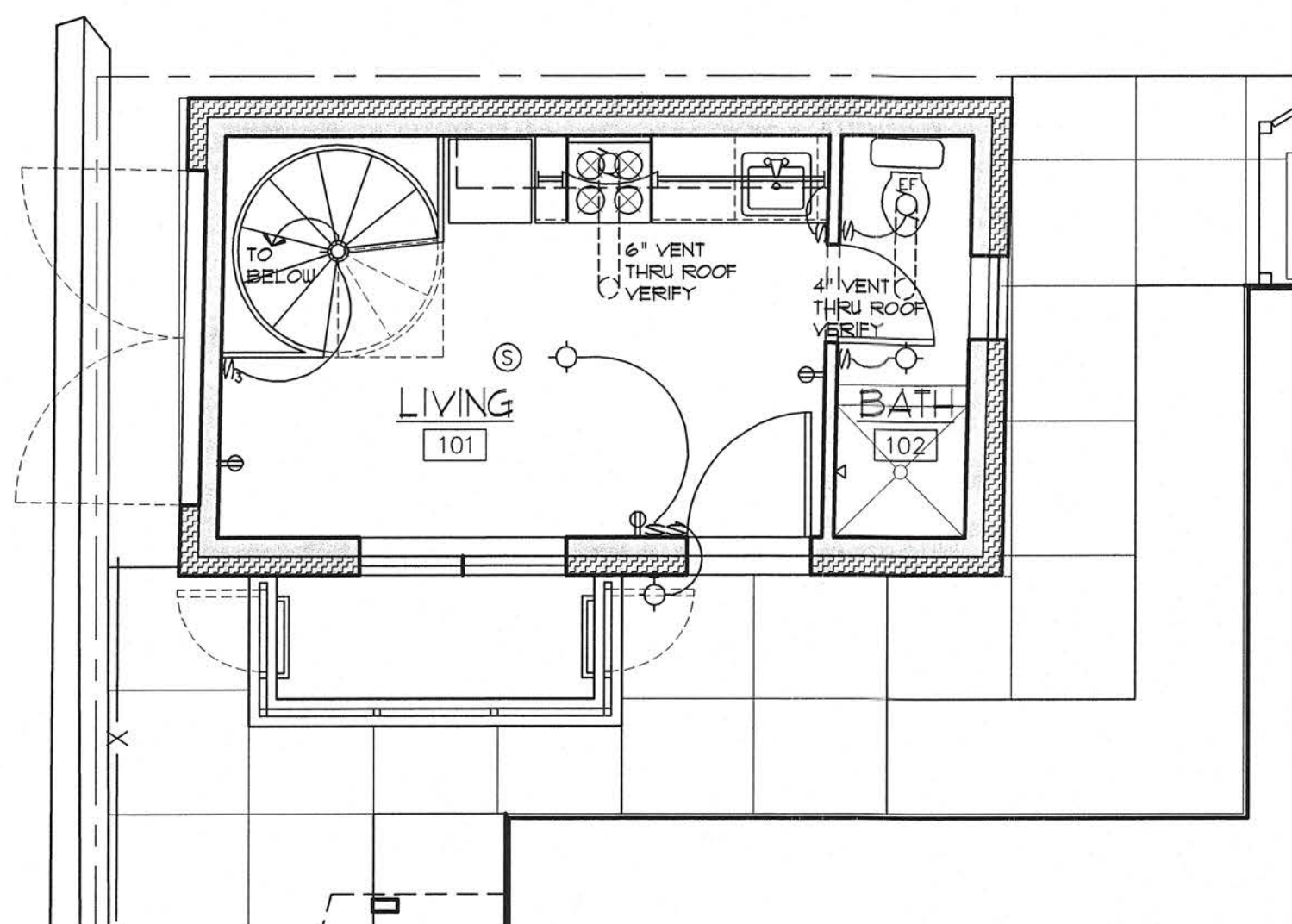
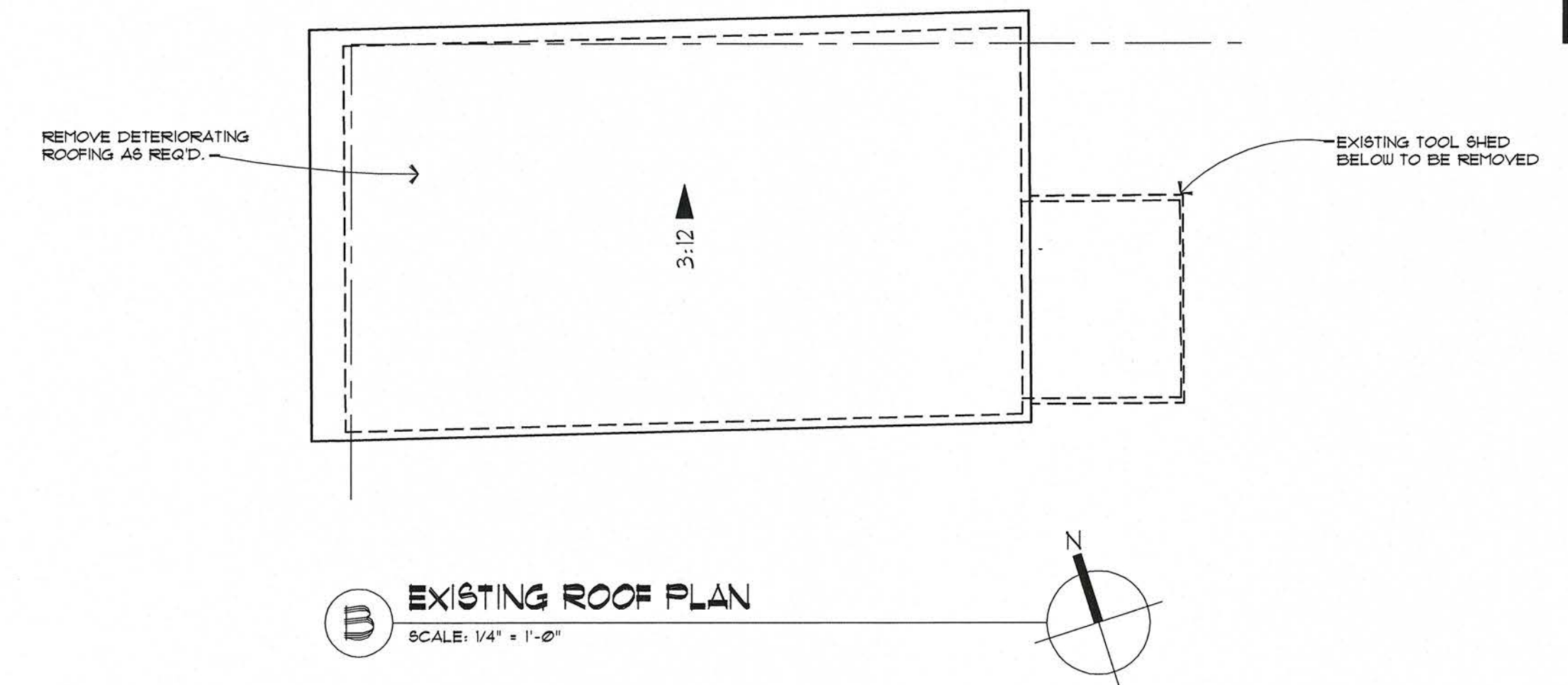
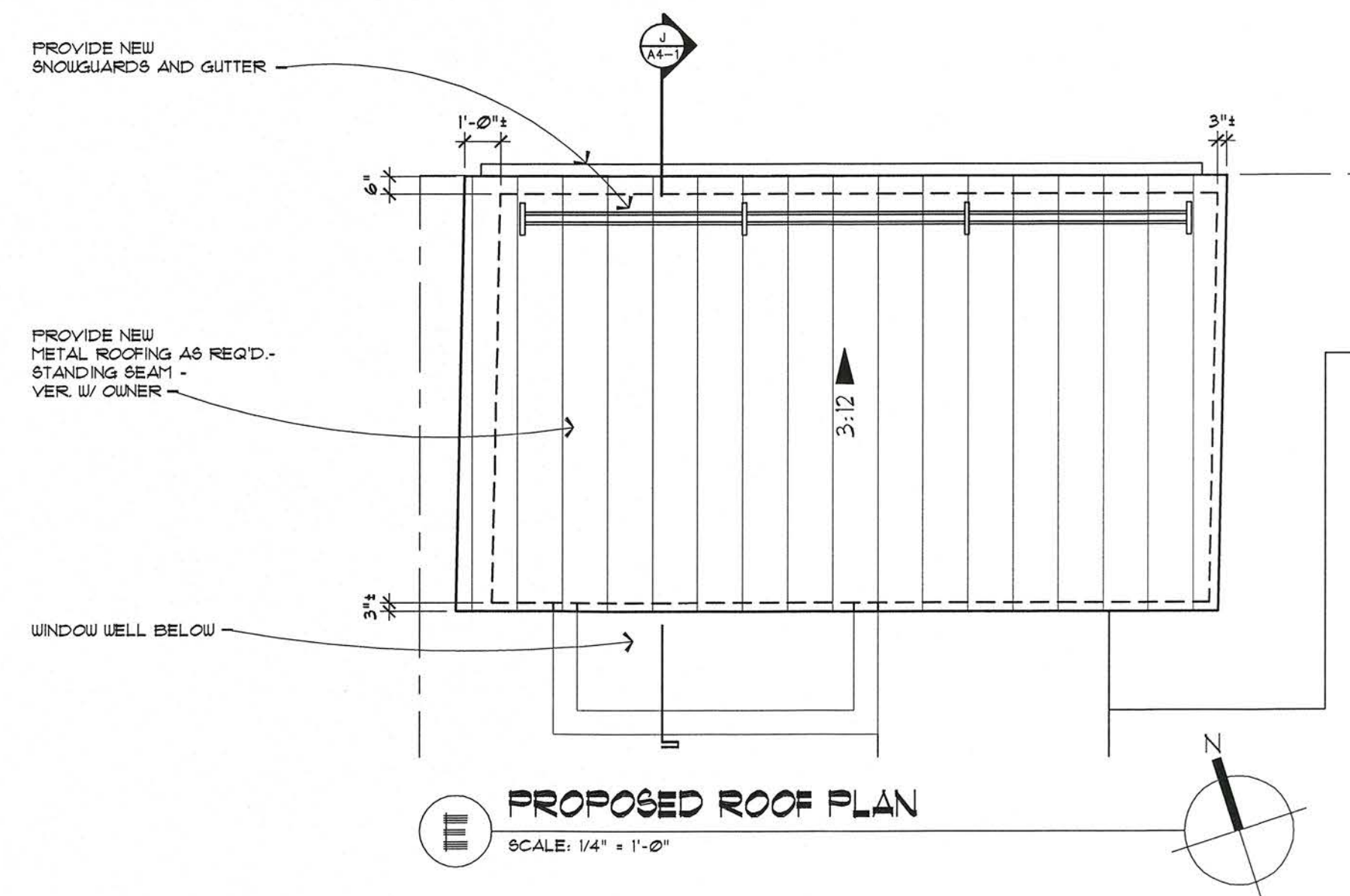
smart
living
designs

A1-0
TITLE SHEET

573 1/2 W. PACIFIC - LOG SHED

REVISIONS:





NOTE:
EXISTING LOG SHED TO BE STABILIZED AND PICKED UP AS A WHOLE STRUCTURE. PROVIDE NEW CONCRETE FOUNDATION/ BASEMENT IN LOCATION SPECIFIED - VERIFY EXACT LOCATION W/ ARCHITECT AND OWNER ON SITE - SEE ELEVATIONS AND STRUCT. PLANS FOR FOUNDATION INFORMATION AND DETAILS. PLACE EXISTING LOG SHED ON TOP OF NEW FLOOR FRAMING OVER NEW FOUNDATION.

CODE NOTES:
1. SPIRAL STAIR PER SECTION 1209.8
2. THE OPEN SIDE OF ANY STAIRS SHOULD BE PROVIDED WITH A GUARDRAIL AS PER SECTION 1202.1.
3. NONABSORBENT FINISH AND BACKING FOR TOILET ROOM WALLS AND FLOOR SHOULD CONFORM WITH SECTION 1202. ALL SHEETROCK IN AREAS SUBJECTED TO MOISTURE SHOULD BE SPECIFIED AS "WATER RESISTIVE".
4. SHOWER STALL WALLS SHOULD BE FINISHED WITH A HARD, NONABSORBENT SURFACE TO A HEIGHT OF 10 INCHES ABOVE THE DRAIN INLET PER SECTION 1203.
5. EVERY SLEEPING ROOM BELOW THE FOURTH FLOOR SHOULD HAVE AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EXIT OR RESCUE PER SECTION 1205.

ELEC. SYMBOLS LEGEND	
	110V, DUPLEX RECEPTACLE
	110V, DUPLEX RECEPTACLE VER. HT. ABOVE COUNTER
	110V, DUPLEX RECEPTACLE GROUND FAULT INTERRUPT
	SINGLE POLE SWITCH
	THREE WAY SINGLE POLE SWITCH
	TELEPHONE OUTLET
	RECESSED DOWNLIGHT
	RECESSED DOWNLIGHT - VAPOR PROOF
	FIXTURE - CEILING MOUNTED
	FIXTURE - WALL MOUNTED (VERIFY HEIGHT - TYPICAL)
	SMOKE DETECTOR (ALL SHALL BE INTERCONNECTED)
	EXHAUST FAN
	GARBAGE DISPOSAL
	UNDER CAB STRIP LIGHTING
	CEILING FAN
	ELECTRIC METER
	MAIN ELECTRICAL PANEL

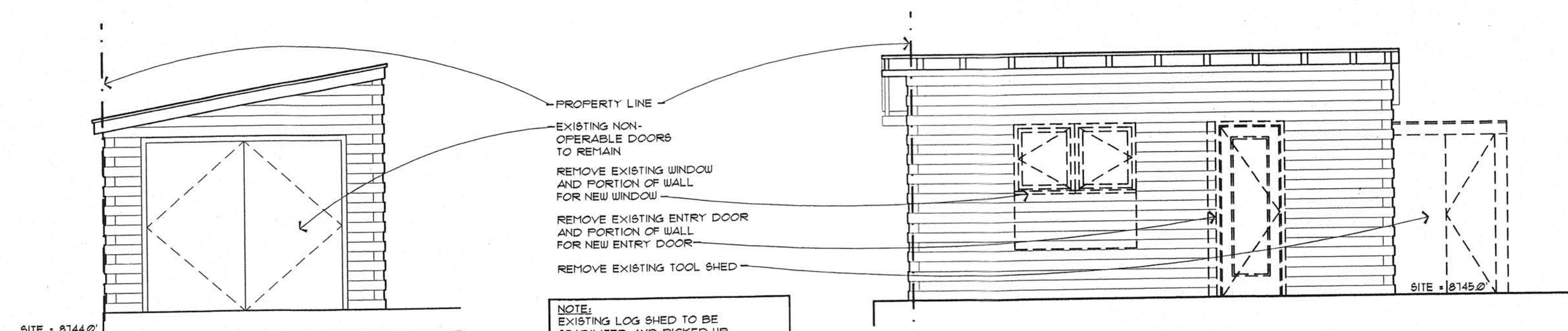
PROJECT DESIGN BY ONE ARCHITECTS, INC.

BUILDING ELEVATION
BUILDING EL. 100'-0" = SITE EL. 8,149'-8 1/2"

NOTES
ALL WALLS AND FLOORS TO HAVE SOUND BATTS.

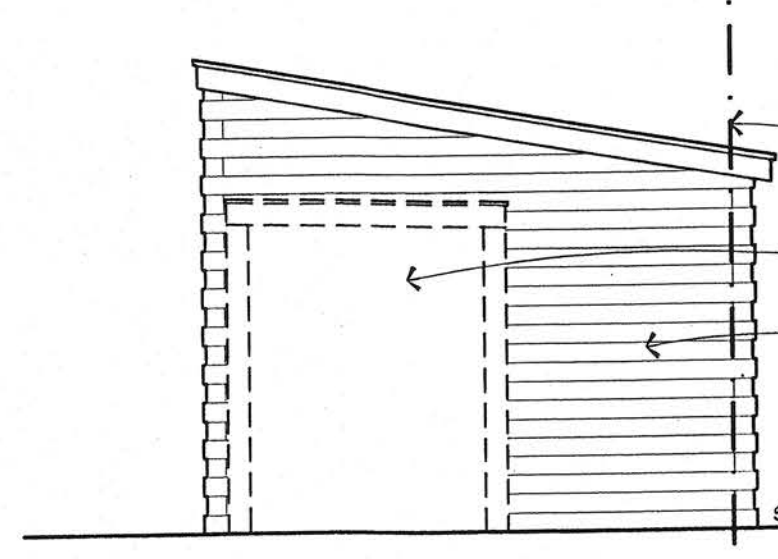
WEST PACIFIC CAMPUS
PROJECT #0608
513 W. PACIFIC AVE.
UNIT 2
TELLURIDE, CO 81435
CONSTRUCTION / PERMIT REVIEW SET
JUNE 29, 2007

EXIST. & PROPOSED LOG SHED PLANS
A3=1
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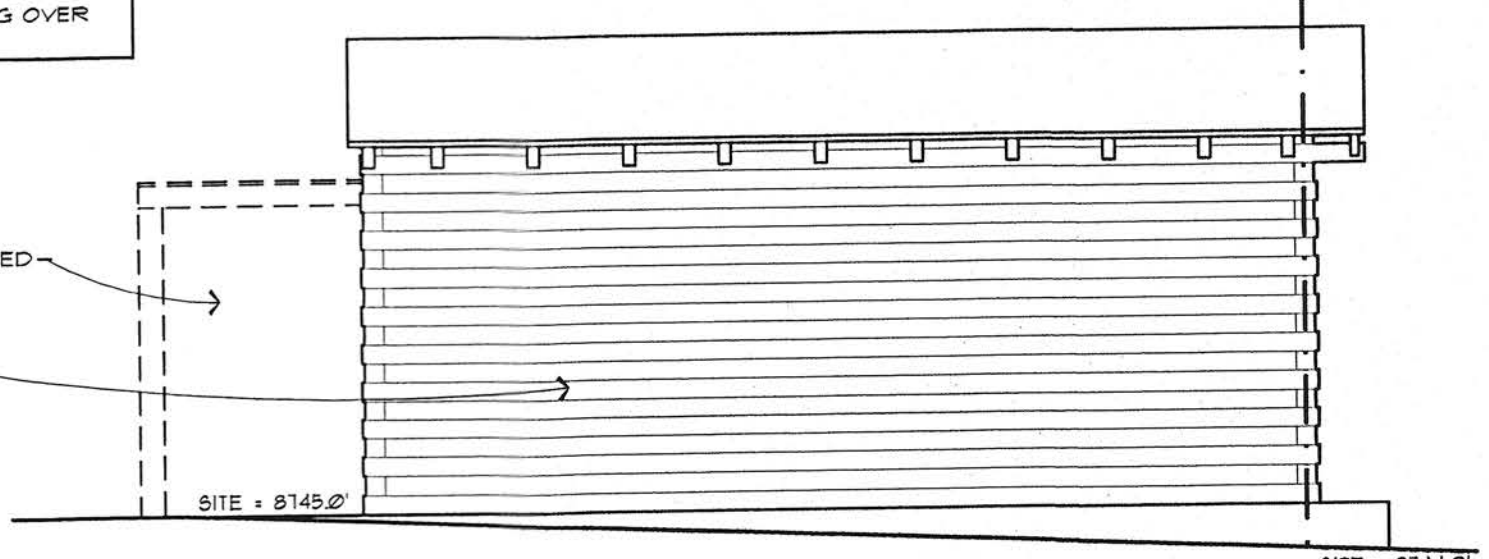


EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

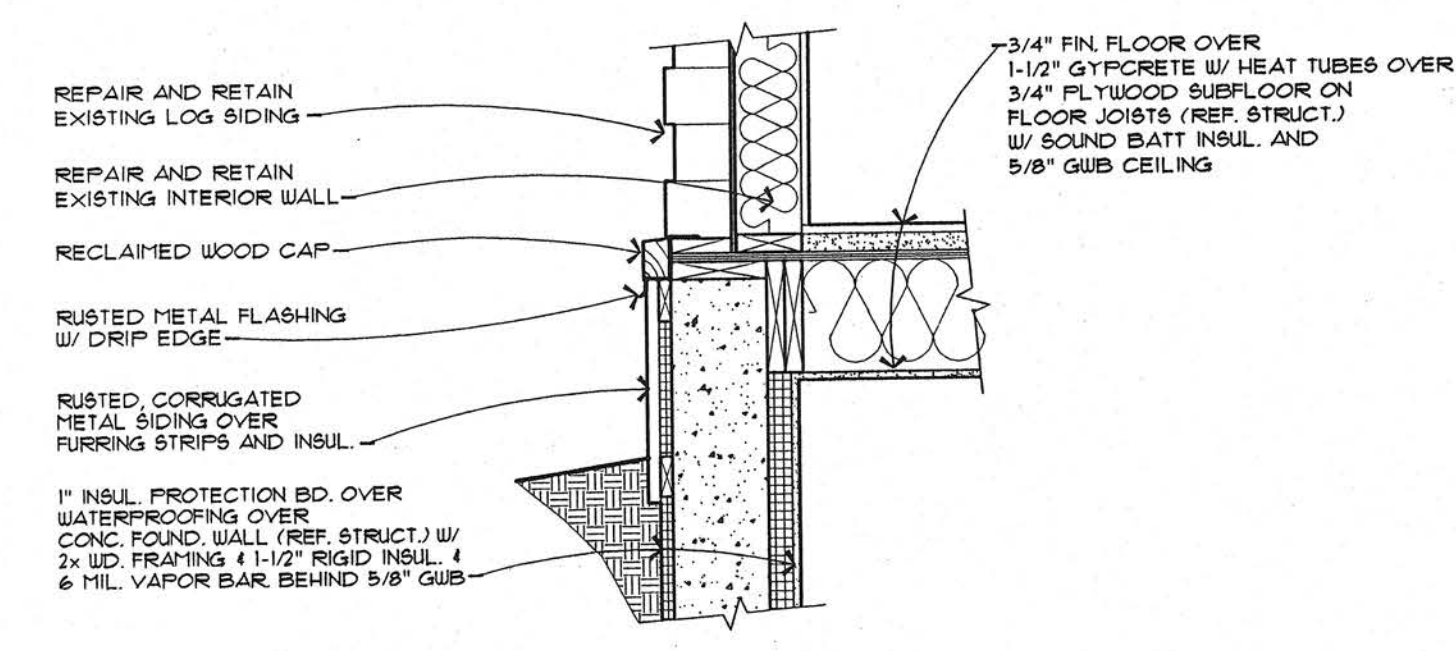
EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



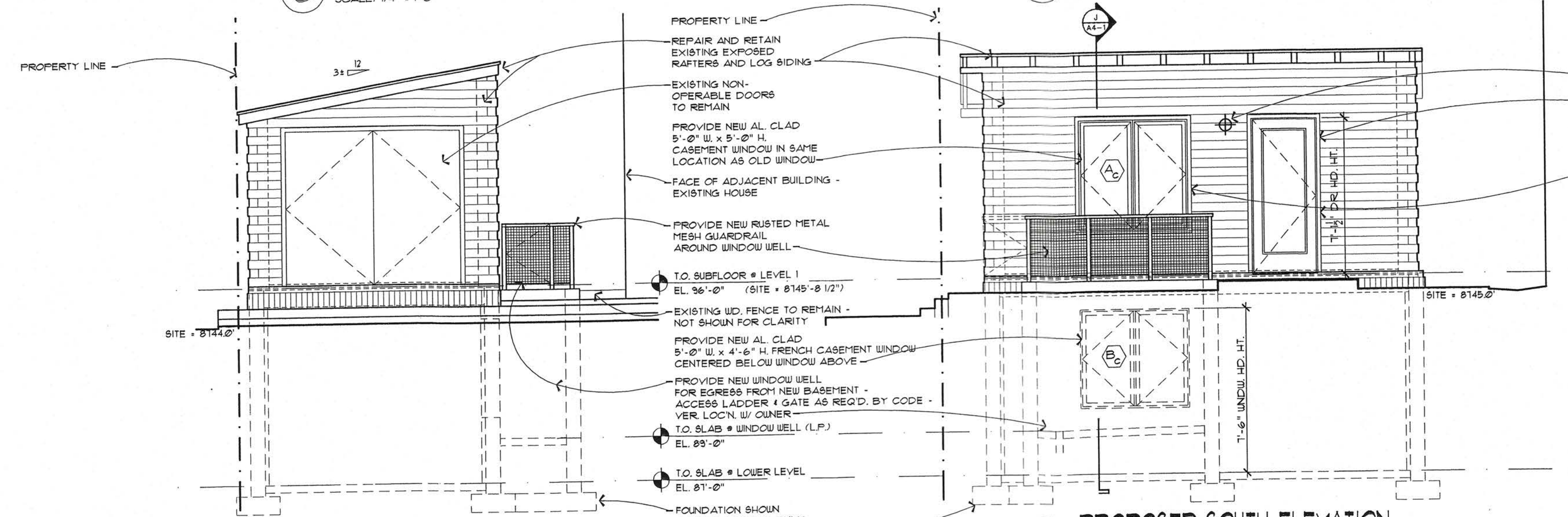
EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

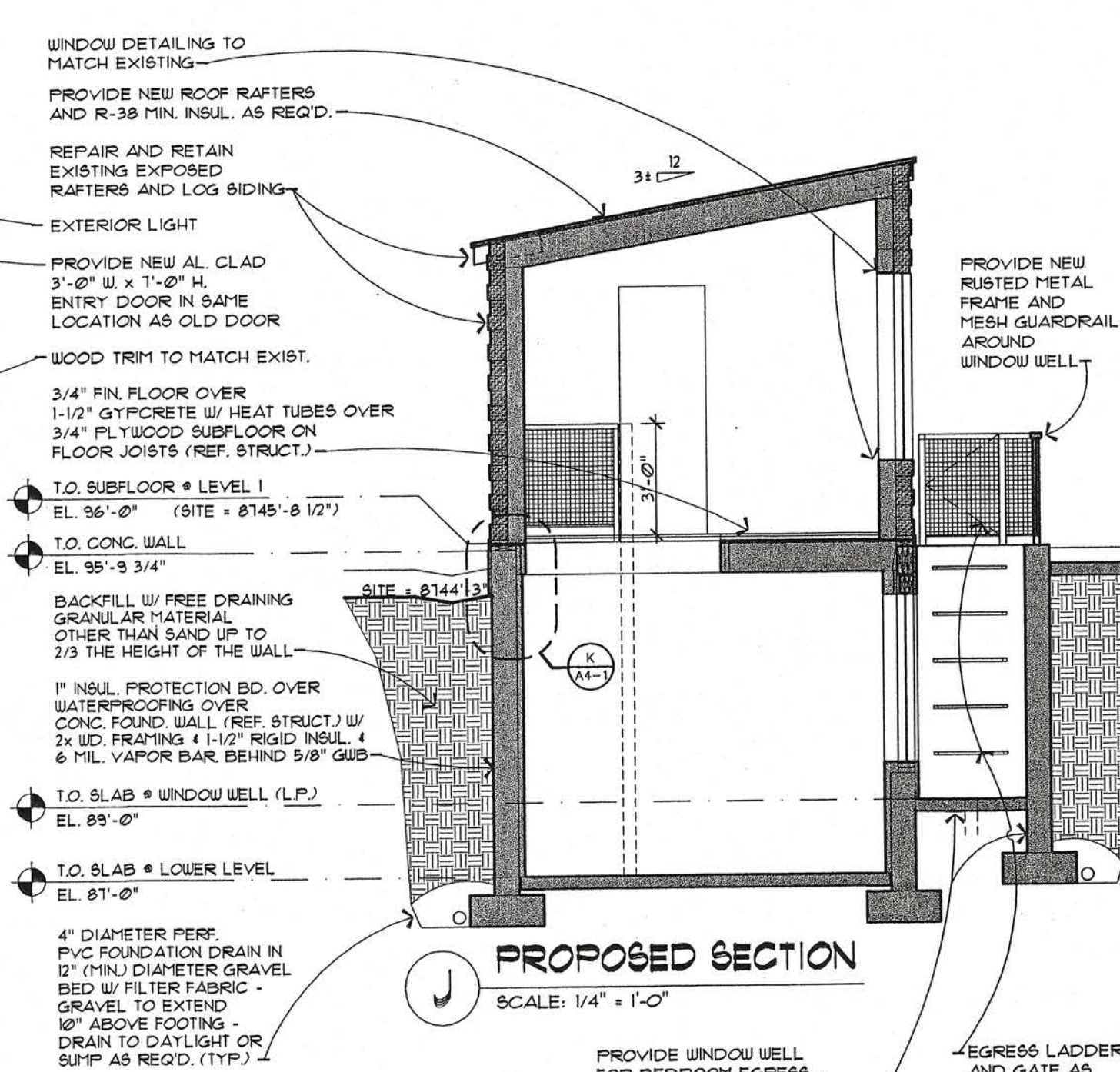


WALL DETAIL
SCALE: 3/4" = 1'-0"

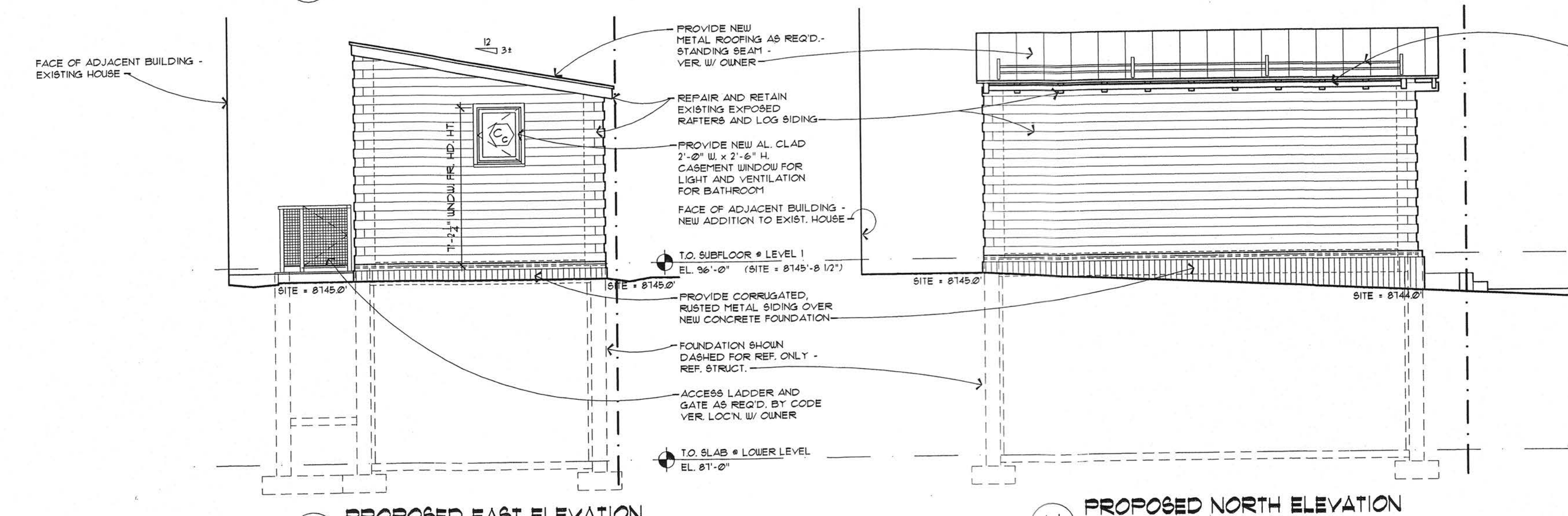


PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

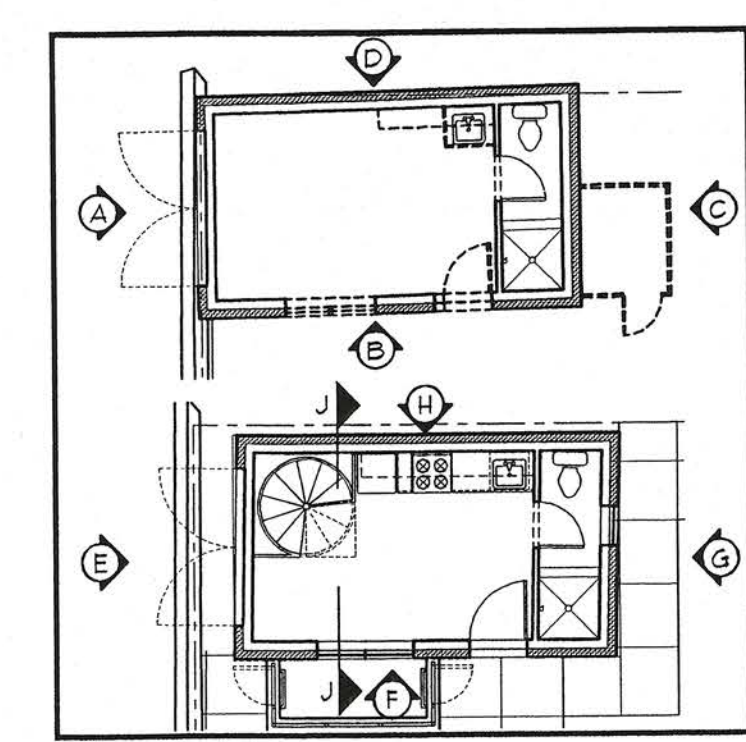


PROPOSED SECTION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



- GENERAL ELEVATION NOTES**
1. TOP OF DOOR AND WINDOW FRAME HEIGHTS (NOTED AS 'DR. FR. HD. HT.' OR 'WIND. FR. HD. HT.') ARE GIVEN FROM T.O. CONCRETE SLAB OR T.O. SUBFLOOR TYPICAL FRAMER TO VERIFY R.O.S. AND HEADER HEIGHTS W/ G.C., WINDOW MANUFACTURER AND ARCHITECT.
 2. REVIEW DOOR FRAME HEAD HEIGHTS WITH DOOR SILL DETAILS. WINDOWS ADJACENT TO EXTERIOR DOORS TO HAVE WINDOW FRAME HEAD HEIGHT MATCH ADJACENT DOOR FRAME HEAD HEIGHT.
 3. CONTRACTOR TO VERIFY SIDING LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.

PROJECT DESIGN BY ONE ARCHITECTS, INC.

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CONSTRUCTION / PERMIT REVIEW SET
MAY 1, 2007

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EXTER. ELEVATIONS SECTION & DETAIL

